

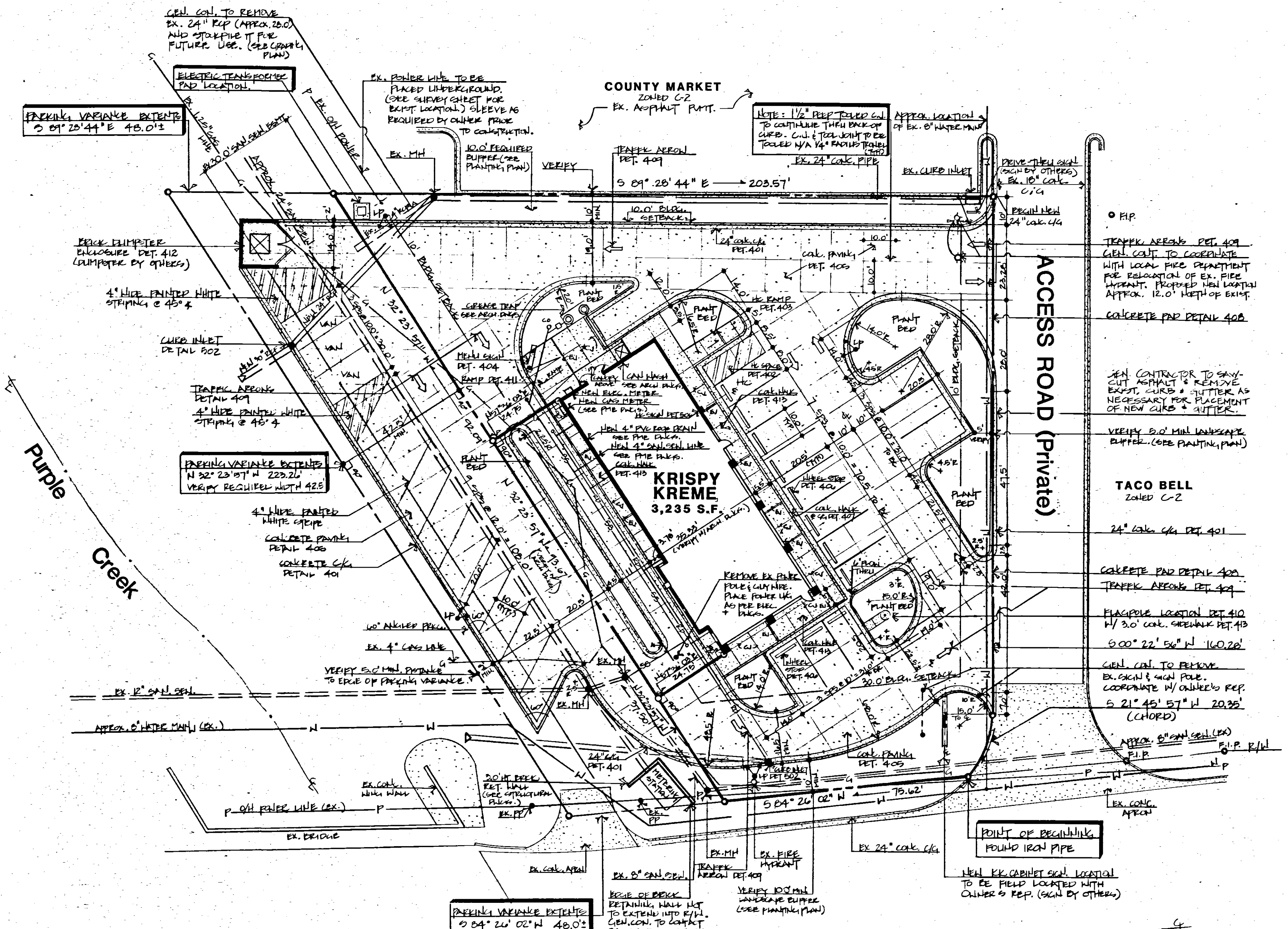
General Notes:

- NOTE: THE PLANTING PLAN SHEET L6 IS INCLUDED IN THIS SET FOR INFORMATION AND COORDINATION USE ONLY. THE PLANTING PLAN IS BEING HANDLED THROUGH A SEPARATE CONTRACTOR, G.C. TO CONTACT ARCHITECT FOR THE APPROVED LANDSCAPE CONTRACTOR.
- GENERAL CONTRACTOR TO VISIT THE SITE, TO VERIFY AND ACCEPT SITE CONDITIONS, PRIOR TO ANY CONSTRUCTION.
- 16 PARKING SPACES REQUIRED. 22 REGULAR SPACES PROVIDED, 1 HANDICAPPED SPACE PROVIDED, AND 3 VAN SPACES PROVIDED. TOTAL NUMBER PROVIDED: 26.
- PARKING SETBACKS: REAR & SIDE YARDS= 10.0' MIN. FRONT= 30.0' MIN.
- GENERAL CONTRACTOR TO COORDINATE W/LOCAL POWER COMPANY TO RELOCATE EX. POWER POLE & GUY WIRE TO AN UNDERGROUND SYSTEM. GEN. CON. TO COORDINATE ANY REQUIRED SLEEVES PRIOR TO CONSTRUCTION.
- GEN. CON. TO VERIFY THAT BUILDING IS SITED WITHIN ALL BUILDING SETBACKS AND "VERIFY" SETBACK DIMENSIONS.
- GEN. CON. TO COORDINATE W/ LANDSCAPE CONTRACTOR FOR INSTALLATION OF ANY SLEEVES REQUIRED FOR THE IRRIGATION SYSTEM PRIOR TO PLACEMENT OF CONCRETE PARKING AND WALKWAYS. REFER TO ELECTRICAL DRAWINGS FOR LOCATION OF LIGHT FIXTURES, ELECTRICAL LINES AND CONDUIT PRIOR TO INSTALLATION OF PAVEMENT.
- NOTE BLDG. LONG DIMENSION TO BE PARALLEL TO THE N 32' 23' 57" W 223.26' PROPERTY LINE.
- PRIOR TO ANY CONSTRUCTION G.C. TO VERIFY SIGNAGE LOCATION, NUMBER & TYPE WITH OWNER.
- GEN. CON. IS RESPONSIBLE FOR CHECKING ALL "VERIFY" DIMENSIONS NOTED ON PLANS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO ANY FURTHER CONSTRUCTION.
- LICENSED SURVEYOR SHALL STAKE OUT PARKING AND BUILDING BOUNDARIES FOR ARCHITECT'S APPROVAL PRIOR TO CONSTRUCTION.
- ALL DIMENSIONS AND RADII ARE TO OUTSIDE FACE OF BUILDING OR TO BACK OF CURB UNLESS OTHERWISE NOTED.
- UTILITY, TOPOGRAPHIC AND BOUNDARY INFORMATION PROVIDED BY REYNOLDS ENGINEERING, INC. OCTOBER 2, 1992.
- GEN. CON. RESPONSIBLE FOR OBTAINING ALL BUILDING, GRADING, UTILITY, EROSION CONTROL, LAND DISTURBANCE AND OCCUPANCY PERMITS.
- GEN. CON. RESPONSIBLE FOR ANY PERMITS REQUIRED FOR WORK DONE IN RIGHT-OF-WAY AND/OR PUBLIC EASEMENTS.
- GEN. CON. RESPONSIBLE FOR KEEPING ALL PLANTING/GRASS AREAS CLEAN AND FREE OF ALL DEBRIS, STONES, CONSTRUCTION MATERIALS ETC.
- GEN. CON. IS RESPONSIBLE FOR LOCATING AND AVOIDING ALL UNDERGROUND UTILITIES. UTILITIES SHOWN ON SITE PLAN ARE BASED ON SURVEY PROVIDED BY LANDMARK ENGINEERING CORPORATION.
- GEN. CON. TO PATCH/REPAIR ALL STREETS AFTER CONNECTION OF PROPOSED UTILITIES AS REQUIRED.
- SEE DETAILS SHEET L-4 FOR SITE PLAN DETAILS.
- SEE MECHANICAL/ELECTRICAL DRAWINGS FOR LOCATION OF ALL PROPOSED ELECTRICAL, GAS, TELEPHONE, ETC.
- SEE PLUMBING PLANS FOR LOCATION OF PROPOSED WATER & SEWER LINES.
- SEE PLUMBING PLANS FOR LOCATION OF GREASE TRAP.
- SEE STRUCTURAL PLANS FOR DETAIL OF REQUIRED RETAINING WALL AROUND EXISTING METER STATION. GEN. CON. TO INSURE THAT NO PORTION OF NEW WALL EXTENDS INTO THE RIGHT-OF-WAY.
- GEN. CON. TO CONTACT PROPER REGULATORY AGENCY FOR PLACEMENT OF RETAINING WALL PRIOR TO INSTALLATION.
- SEE GRADING PLAN FOR NEW STORM DRAINAGE SYSTEM INFORMATION.
- GENERAL CONTRACTOR TO VERIFY THAT THE PROPOSED KRISPY KREME CABINET SIGN IS WITHIN THE PROPER SIGN SETBACKS. SIGN TO BE FIELD LOCATED BY OWNER'S REP. PRIOR TO INSTALLATION (SIGN BY OTHERS).



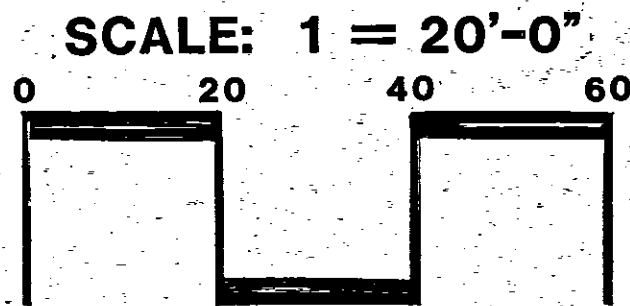
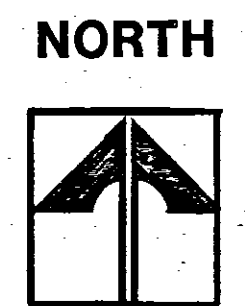
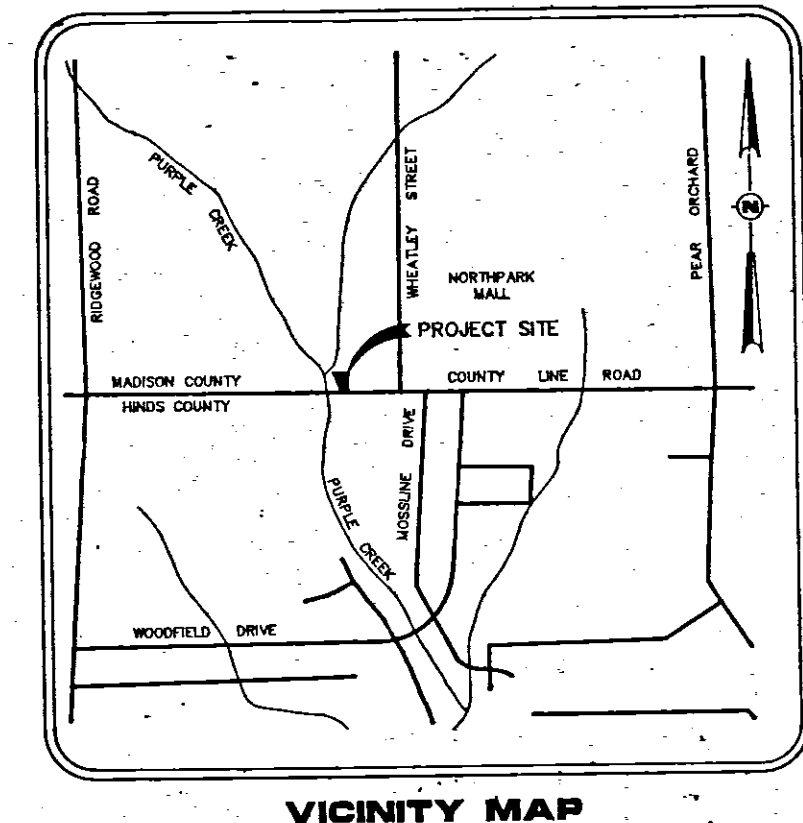
DOUGHNUT
KRISPY KREME
CORPORATION
270 STAND ALONE PROTOTYPE W/ROUTE
RIDGELAND, MISSISSIPPI

JOB#: 9223
DATE: 10/5/92
DRAWN: KM
SHEET
L-2
OF 6

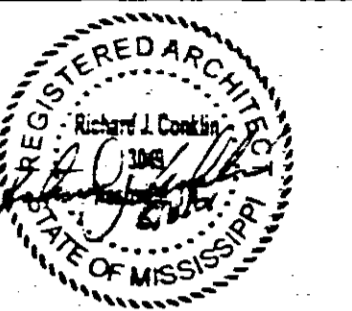


- Legend:**
- W — EXISTING 6" WATER MAIN
 - — — EXISTING SANITARY SEWER LINE
 - — — EXISTING/PROPOSED STORM DRAINAGE
 - P — EXISTING OVERHEAD POWER LINE
 - G — EXISTING GAS LINE
 - RD — PROPOSED ROOF DRAIN COLLECTION CENTERLINE
 - C/C — CURB & CHUTTER
 - C/J — CONTRACTION JOINT
 - E/J — EXPANSION JOINT
 - R/W — RIGHT OF WAY
 - o.c.a. — CLEANOUT

SITE PLAN



STIMMEL ASSOCIATES, P.A.
Landscape Architecture - Land Planning
1330 Ashleybrook Lane
Winston-Salem, NC 27103
Phone (919) 760-1087



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KRISPY KREME DOUGHNUT CORPORATION
 370 KNOLLWOOD, SUITE 500
 WINSTON - SALEM, N.C. 27103
 Phone: (336) 725-2881 FAX: (336) 733-3798
 Project location
COUNTY LINE ROAD
 RIDGELAND, MISSISSIPPI

Krispy Kreme
DOUGHNUTS
 Building model number - 270 Proto
 EXISTING STORE - # 262

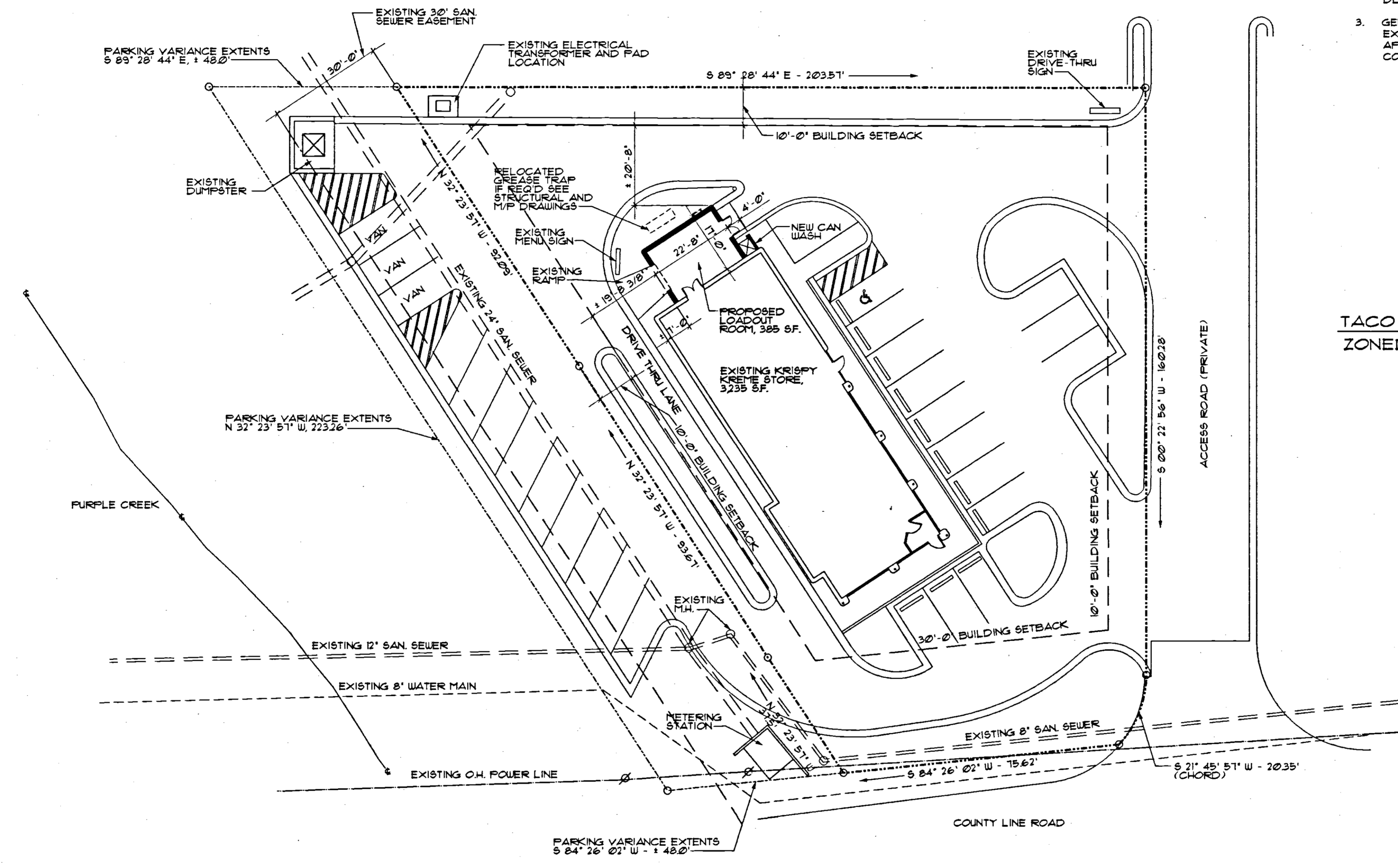
REVISION	DATE	BY

DRAWN
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 05-08-01
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 AS NOTED
 PROJECT NO.
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 SHEET
A-1
 OF 1 SHEETS
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SITE DEMOLITION NOTES

1. GENERAL CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UNDERGROUND UTILITY LINES, PRIOR TO ANY DEMOLITION WORK.
2. GENERAL CONTRACTOR SHALL SAW-CUT EXISTING CONCRETE RAMP, SIDEWALKS, SLABS, CURBS, AND GUTTERS AND CAREFULLY REMOVE DEBRIS, AS NECESSARY, TO ACCOMMODATE NEW CONSTRUCTION.
3. GENERAL CONTRACTOR TO VERIFY LOCATION OF AND COORDINATE EXCAVATION AT, OR RELOCATION OF GREASE TRAP, WITH THE APPROPRIATE SUBS. NOTIFY STRUCTURAL ENGINEER LISTED ON COVER SHEET, OF UNUSUAL OR HAZARDOUS EXCAVATION CONDITIONS.

COUNTY MARKET
ZONED C-2



TACO BELL
ZONED C-2

GENERAL SITE NOTES

1. THIS SITE PLAN WAS DEVELOPED FROM THE ORIGINAL CONTRACT DOCUMENTS CIVIL DRAWINGS, BY STIMMEL AND ASSOCIATES, P. A. LANDSCAPE ARCHITECTS, WINSTON-SALEM, N. C.
2. SITE UTILITIES TO REMAIN UNDISTURBED.
3. PARKING TO REMAIN UNDISTURBED.
4. NEW LOADOUT ROOM FOR RACK STORAGE OF FRESH DONUTS, FOR SHIPMENT TO LOCAL GROCERY OUTLETS.
5. TIE NEW ADDITION DOWNSPOUTS INTO EXISTING STORM WATER DRAINAGE LINE.
6. GENERAL CONTRACTOR SHALL PATCH, REPAIR AND POUR NEW CONCRETE AS NECESSARY, TO RESTORE EXTERIOR PAVING AND WALKS, TO MATCH EXISTING CONDITIONS.
7. GENERAL CONTRACTOR SHALL REPLACE LANDSCAPE/PLANTING REMOVED FOR CONSTRUCTION, WITH NEW LANDSCAPE/PLANTING, TO MEET ZONING REQUIREMENTS.

SITE PLAN
 SCALE 1" = 20'-0"

