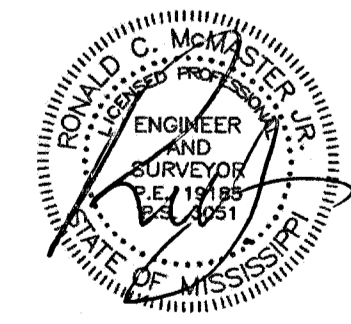
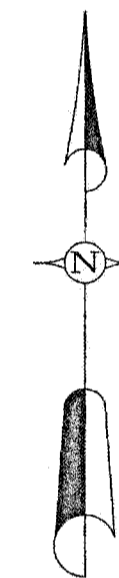
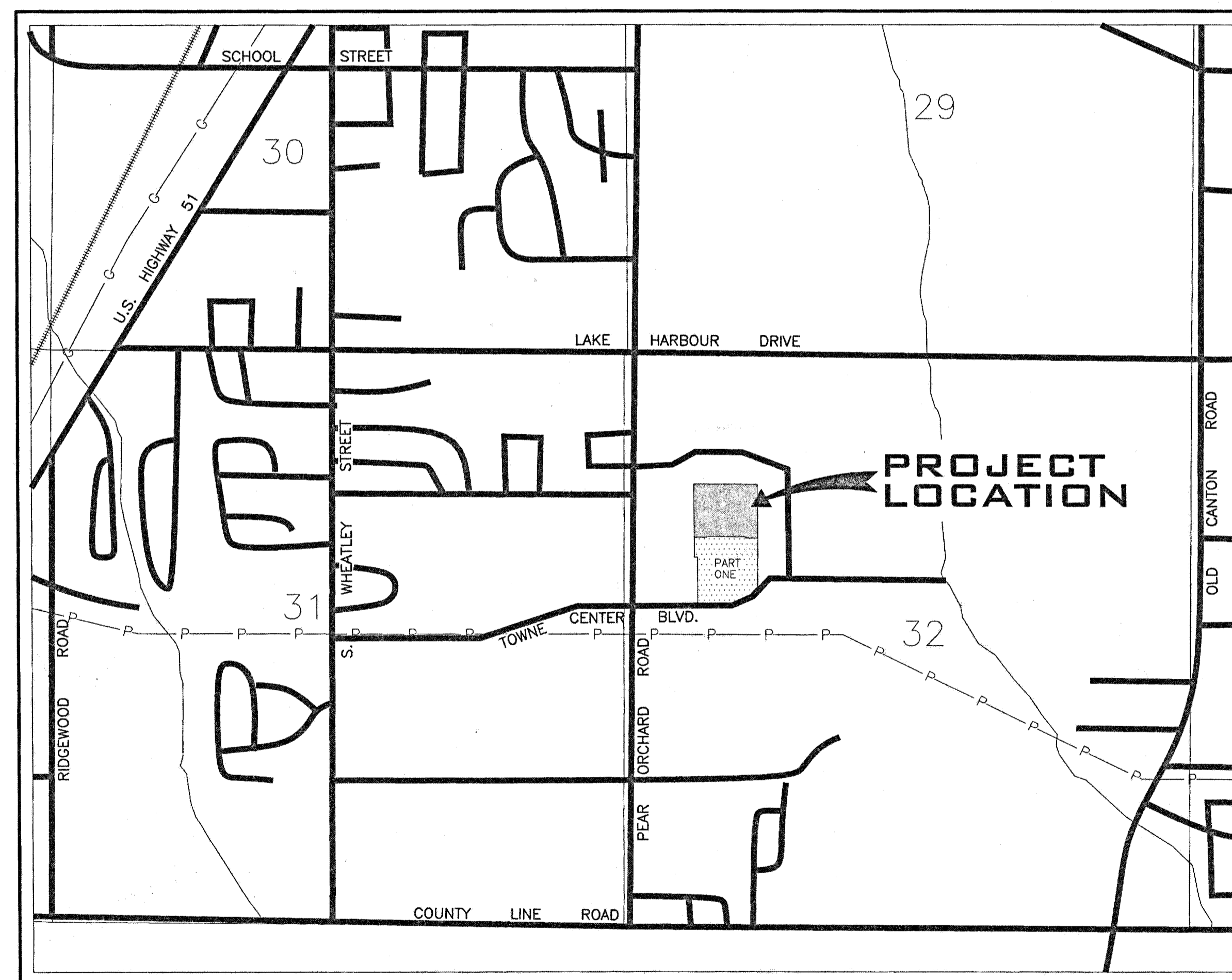
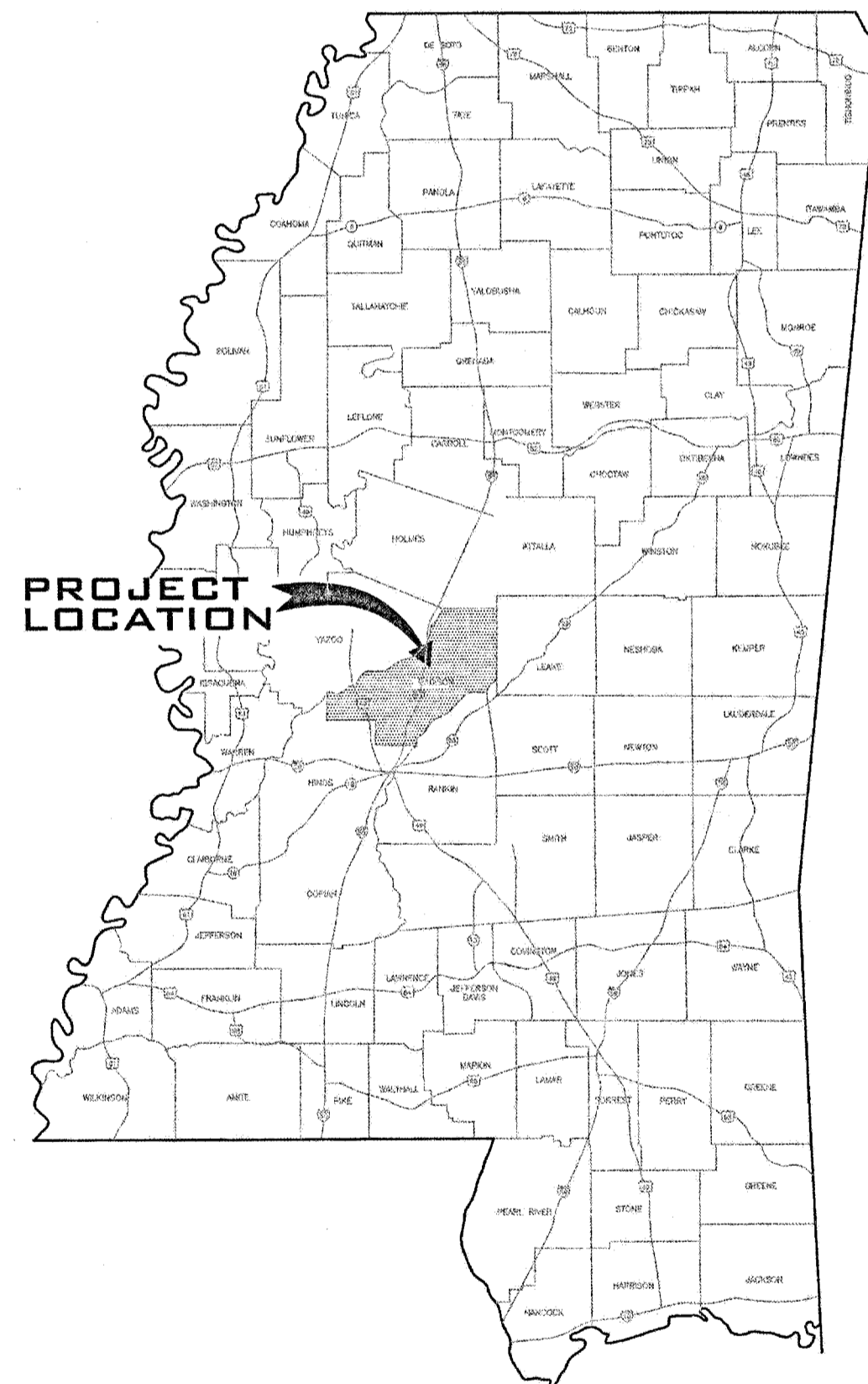


CONSTRUCTION PLANS FOR ENCLAVE AT TOWNE CENTER (PART 2) CITY OF RIDGELAND, MS

A DEVELOPMENT
OF
AYEFORÉ DEVELOPMENT GROUP, LLC
P.O. BOX 986
RIDGELAND, MS 39110

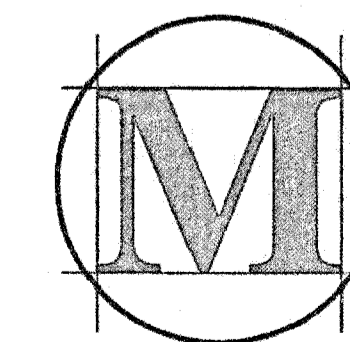
AS-BUILT



CAUTION
The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

PWP-00502

VICINITY MAP



M'MASTER & ASSOCIATES, INC.
CIVIL ENGINEERS & LAND SURVEYORS

212 WATERFORD SQUARE
SUITE 300
MADISON, MS 39110
601.605.1090

MINIMUM BUILDING SETBACKS
 FRONT - 10'
 REAR - 15'
 SIDE - 5'
 STREET SIDE - 10'

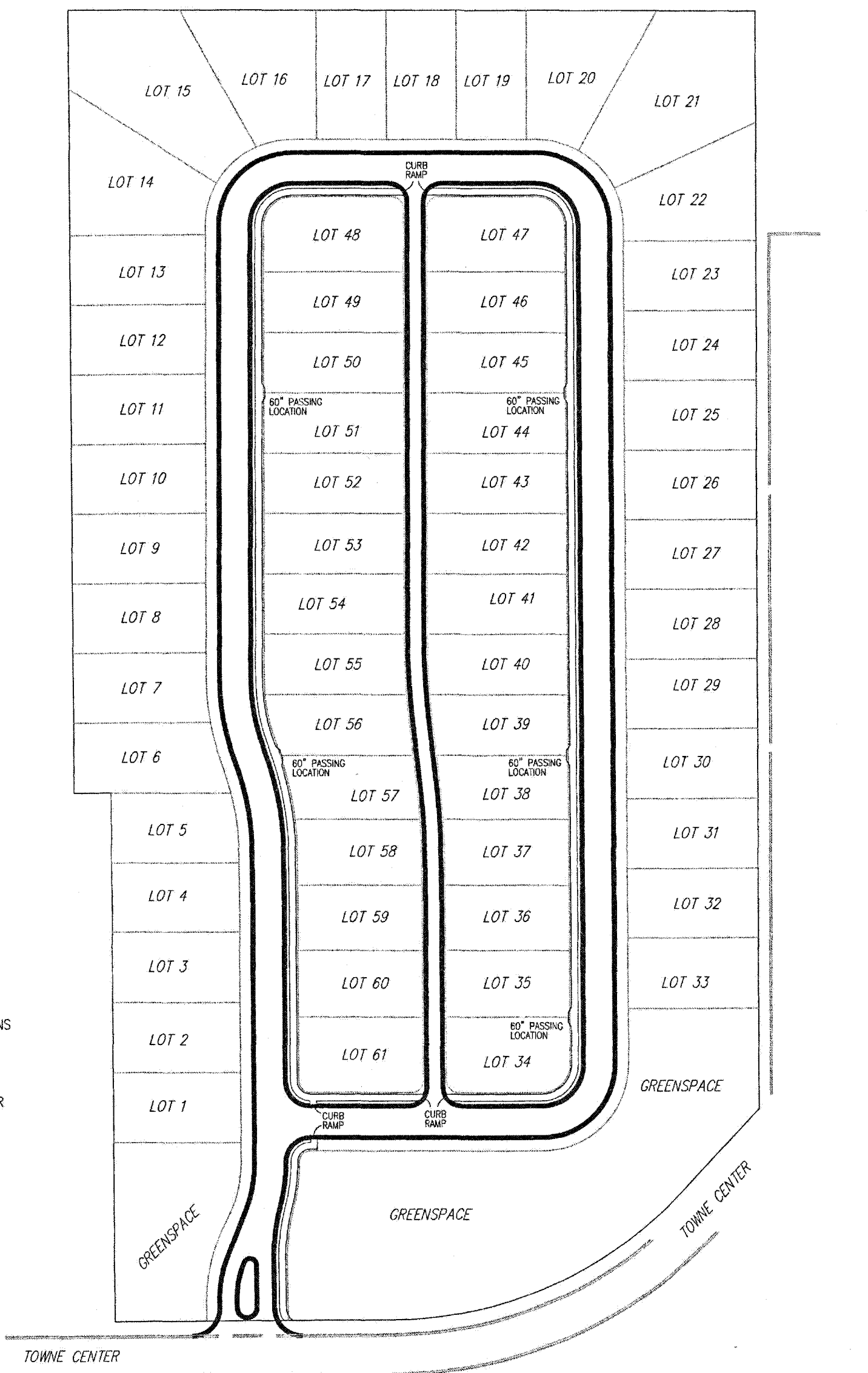
ACCORDING TO FEMA FIRM MAP NUMBER 28089C0586F, DATED MARCH 17, 2010, THE SUBJECT PROPERTY LIES WITHIN ZONE "X" (AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).

4"x4"x30" CONCRETE MONUMENTS WITH 1/2" STEEL ROD WITH 1/4" PROJECTION TO BE SET AT PLAT CORNERS.

1/2"x24" STEEL RODS TO BE PLACED AT ALL LOT CORNERS AND ALIGNMENT CHANGES IN RIGHT-OF-WAY AND LOT BOUNDARIES.

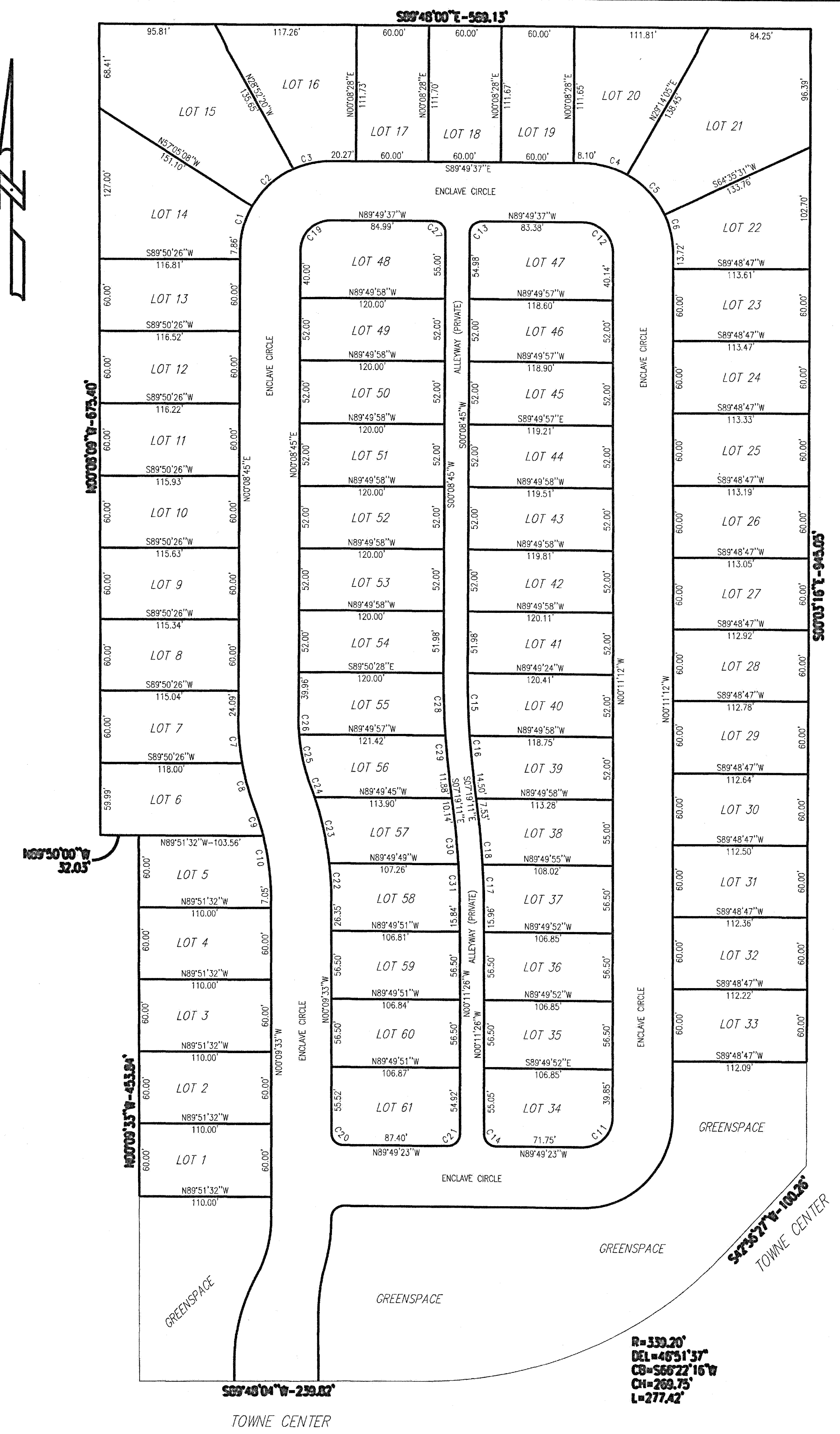
Property Description:
 A parcel of land lying and situated in the NW 1/4 of Section 32, Township 7 North, Range 2 East, City of Ridgeland, Madison County, Mississippi being more particularly described as follows:
 Commence at an iron pin representing the NW corner of that parcel described in Book 211 at page 314, said iron pin being 35.0 feet east of and 1099.80 feet south of the NW corner of Section 32, Township 7 North, Range 2 East, Madison County, Mississippi and run thence S 0 degrees 03 minutes 23 seconds W along the easterly right of way of Pear Orchard Road for a distance of 209.50 feet to a concrete monument; thence run S 0 degrees 10 minutes 00 seconds E along said right of way for a distance of 466.59 feet to the SW corner of Book 211 at page 314; thence run S 89 degrees 50 minutes 00 seconds E for a distance of 644.53 feet to an iron pin representing the SE corner of that parcel described in Book 211 at page 314 said iron pin is the Point of Beginning of the parcel herein described. From the Point of Beginning run thence N 0 degrees 08 minutes 09 seconds W for a distance of 675.40 feet to the NE corner of that parcel described in Book 211 at page 314; thence run S 89 degrees 48 minutes 00 seconds E for a distance of 589.13 feet to an iron pin; thence run S 0 degrees 03 minutes 16 seconds E along the westerly line of that parcel described in Book 406 at page 480 for a distance of 945.05 feet to an iron pin on the northerly right of way of Town Center Blvd; thence run S 42 degrees 56 minutes 27 seconds W along said northerly right of way for a distance of 100.26 feet to a point; thence run southwesterly along said right of way and along the arc of a curve to the right having a radius of 339.20 feet, a delta angle of 46 degrees 51 minutes 37 seconds, a chord bearing of S 66 degrees 22 minutes 16 seconds W, a chord length of 269.75 feet and an arc length of 277.42 feet for a distance of 277.42 feet to a point; thence run S 89 degrees 48 minutes 04 seconds W along said right of way for a distance of 239.82 feet to a point which is 0.63 feet south of and 0.21 feet east of an iron pin; thence run N 0 degrees 09 minutes 33 seconds W along the easterly line of that parcel described in Book 384 at page 594 for a distance of 453.84 feet to an iron pin; thence run N 89 degrees 50 minutes 00 seconds W for a distance of 32.03 feet to the Point of Beginning. This parcel contains 14.48 acres, more or less.

NUMBER	DELTA ANGLE	CHORD BEARING	RADIUS	LENGTH	CHORD
C1	29°19'55"	S14°48'43"W	75.00	38.40	37.98
C2	36°06'57"	N47°32'09"E	75.00	47.28	46.50
C3	24°34'46"	N7°53'00"E	75.00	32.17	31.93
C4	29°02'01"	N79°18'36"W	75.00	38.00	37.60
C5	35°21'53"	N43°06'40"W	75.00	46.29	45.56
C6	28°14'31"	S12°48'27"E	75.00	33.04	32.78
C7	10°20'18"	N05°01'24"W	200.00	36.09	36.04
C8	10°37'19"	S15°30'13"E	200.00	37.08	37.02
C9	06°47'23"	N17°25'11"W	221.10	26.20	26.19
C10	13°51'56"	S07°05'31"E	221.10	53.51	53.38
C11	90°21'49"	S44°59'43"W	25.00	39.43	35.47
C12	89°38'25"	N45°00'24"W	25.00	39.11	35.24
C13	90°01'38"	S45°09'34"W	10.00	15.71	14.15
C14	89°37'53"	S45°00'25"E	10.00	15.64	14.10
C15	04°19'26"	N02°00'58"W	690.00	52.07	52.06
C16	03°08'30"	N05°44'56"W	690.00	37.83	37.83
C17	03°16'27"	S01°49'39"E	710.00	40.57	40.57
C18	03°51'18"	N05°23'32"W	710.00	47.77	47.76
C19	90°01'38"	N45°09'34"E	25.00	39.28	35.36
C20	89°39'50"	S44°59'28"E	9.50	14.87	13.40
C21	90°22'03"	N44°59'35"E	10.00	15.77	14.19
C22	06°23'11"	S03°21'09"E	271.10	30.22	30.20
C23	11°58'01"	N12°30'48"W	271.10	56.47	56.37
C24	02°20'01"	N19°38'52"W	271.10	11.04	11.04
C25	16°21'17"	S12°38'14"E	150.00	42.82	42.67
C26	04°36'21"	S02°09'25"E	150.00	12.06	12.05
C27	89°58'22"	S44°50'26"E	10.00	15.70	14.14
C28	04°12'06"	S01°57'18"E	710.00	52.06	52.05
C29	03°15'50"	S09°41'16"E	710.00	40.45	40.44
C30	03°45'00"	N05°26'41"W	690.00	45.16	45.15
C31	03°22'45"	S01°52'48"E	690.00	40.69	40.69



SIDEWALK PLAN AND LAYOUT
 1" = 100'

SIDEWALK TO BE 42" WIDTH WITH 60" PASSING LOCATIONS AS SHOWN FOR ADA COMPLIANCE.
 CURB RAMPS TO HAVE A DETECTABLE WARNING DEVICE WITH A RAISED DOME SURFACE AND CONTRASTING COLOR FOR ADA COMPLIANCE.



R=339.20'
 DEL=46°51'37"
 CH=566'22"16"W
 CL=269.75'
 L=277.42'

DATE	REVISION

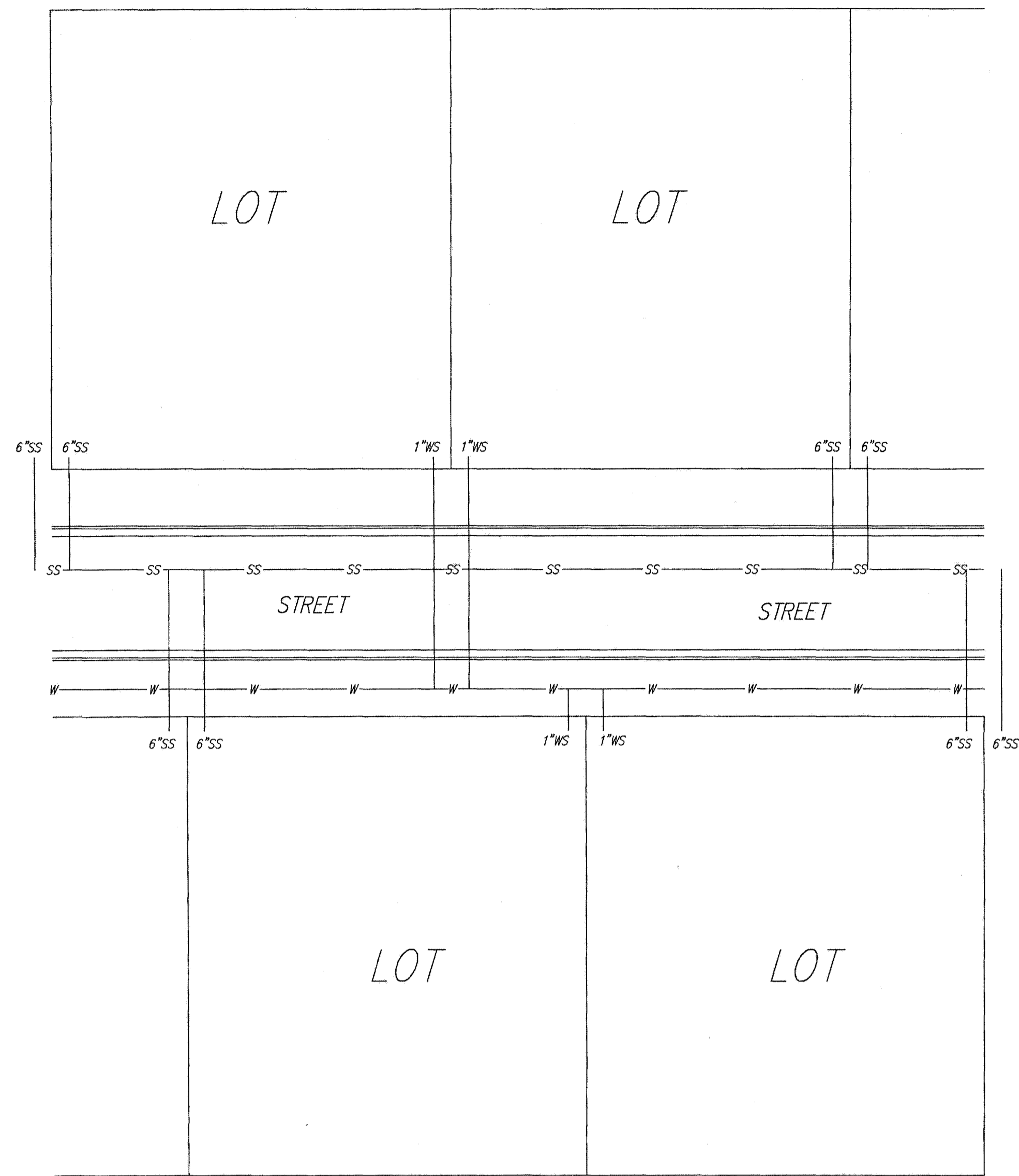
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 CHECKED BY: APPROVED BY:

B BANKS ENGINEERING & SURVEYING, INC.
 115 LONE WOLF DRIVE SUITE B • MADISON, MS 39110
 OFFICE (601) 407-1240 • FAX (601) 407-1245

CLIENT:
AYEFOUR DEVELOPMENT GROUP, LLC
 P.O. BOX 986
 RIDGELAND, MISSISSIPPI 39158

PROJECT:
**THE ENCLAVE AT TOWNE CENTER
 OVERALL SUBDIVISION LAYOUT**

SHEET NO.
2



TYPICAL WATER AND SEWER SERVICE CONNECTIONS

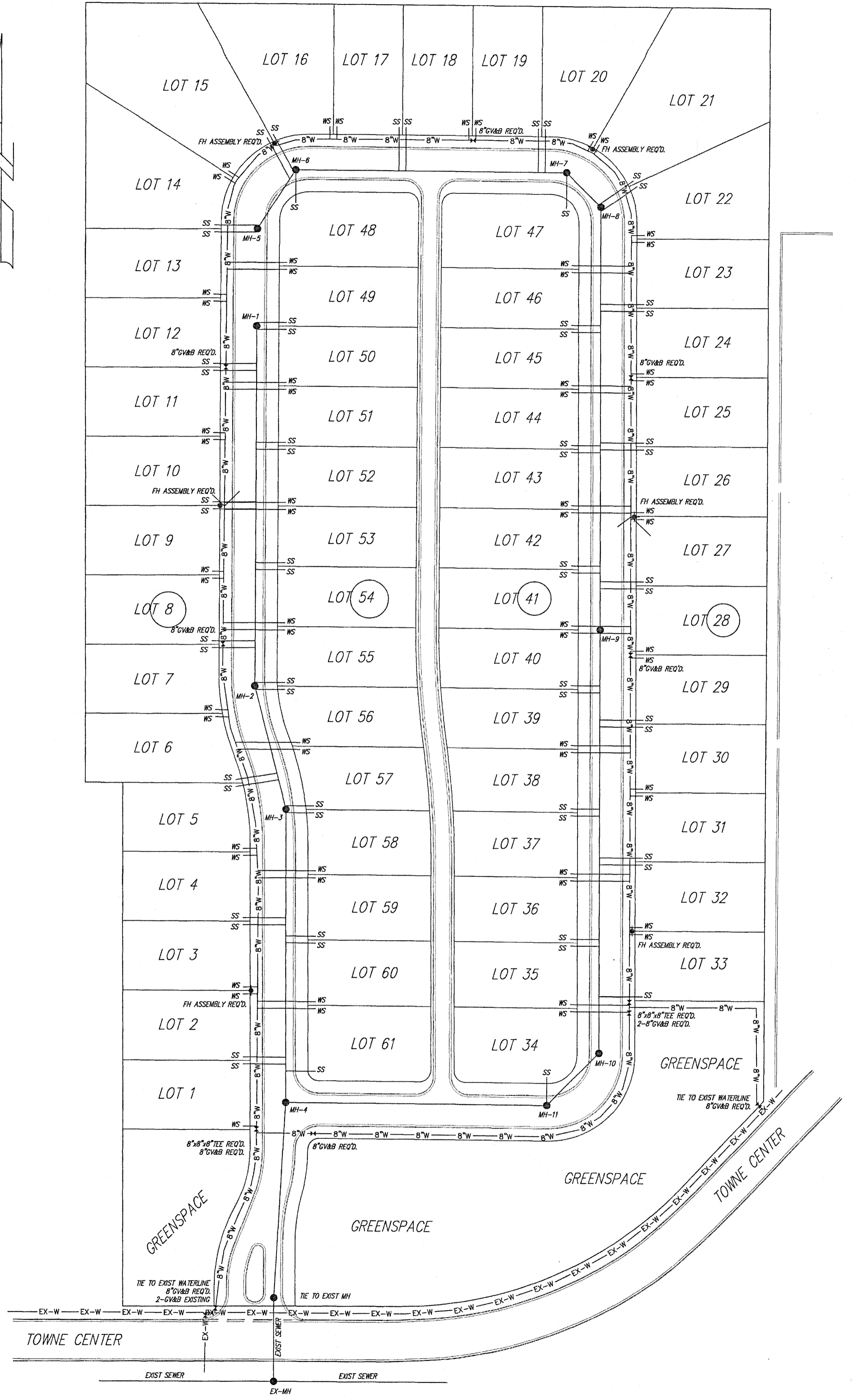
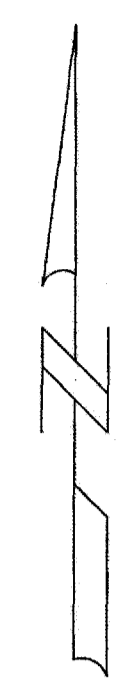
8" SEWERMAIN TO BE SDR-26 PVC
 8" WATERMAIN TO BE C-900 CLASS 150 PVC

ALL WATER AND SEWER LINES SHOWN HEREON TO HAVE A UTILITY EASEMENT OF SUFFICIENT WIDTH TO ALLOW FOR MAINTENANCE. THIS WILL BE SHOWN ON THE FINAL SUBDIVISION PLAT.

ALL WATERLINES OVER 6" DIAMETER UNDER STREETS TO HAVE STEEL CASING

ALL WATER SERVICE LINES UNDER STREETS TO HAVE PVC CASING

TRACER WIRE REQUIRED ALONG ALL WATERMANS. WIRE SHALL BE TWELVE GAUGE MINIMUM SOLID COPPER WITH THERMOPLASTIC INSULATION RECOMMENDED FOR DIRECT BURIAL.



DATE	REVISION

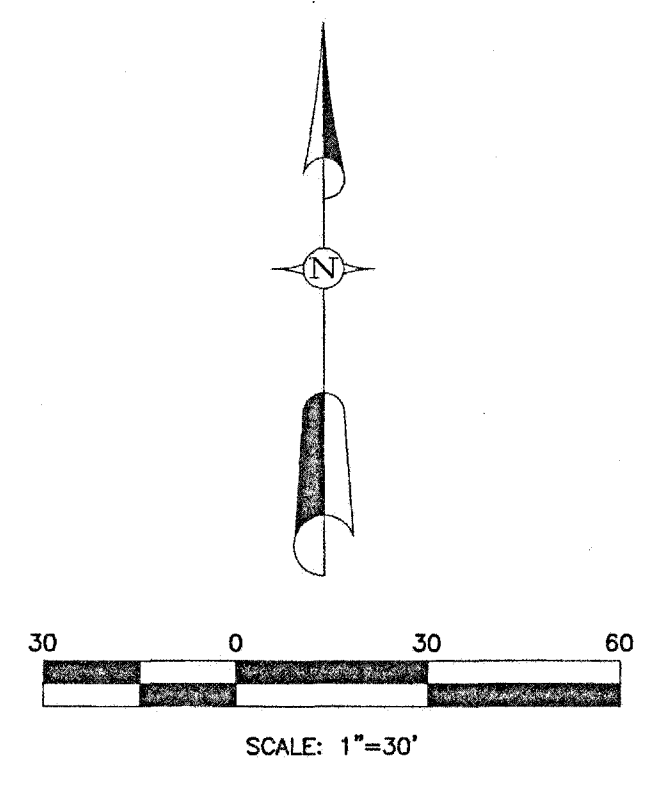
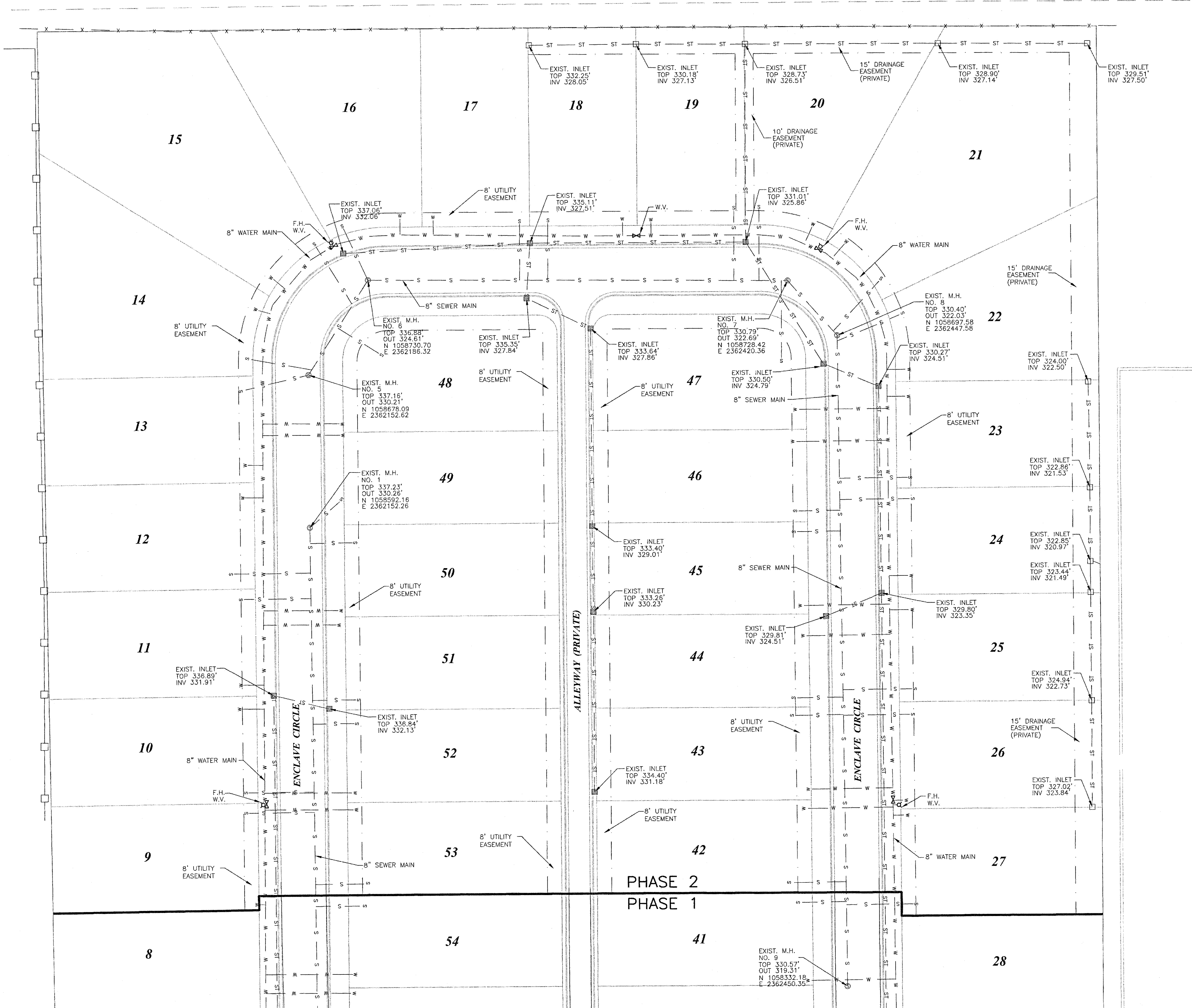
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 CHECKED BY: APPROVED BY:

B BANKS ENGINEERING & SURVEYING, INC.
 115 LONE WOLF DRIVE SUITE B * MADISON, MS 39110
 OFFICE (601) 407-1240 * FAX (601) 407-1245

CLIENT:
 AYEFOR DEVELOPMENT GROUP, LLC
 P.O. BOX 986
 RIDGELAND, MISSISSIPPI 39158

PROJECT:
 THE ENCLAVE AT TOWNE CENTER
 WATER AND SEWER LAYOUT

SHEET NO.
 4



LOT NO.	SEWER SERVICE		WATER SERVICE		GATE VALVE		INLETS	
	NORTHING	EASTING	NORTHING	EASTING	NORTHING	EASTING	NORTHING	EASTING
9	1058432.45	2362115.86	1058381.04	2362121.06	1058437.37	2362125.90		
10	1058443.84	2362115.99	1058490.74	2362112.72				
11	1058552.01	2362114.95	1058504.10	2362113.58				
12	1058566.42	2362109.51	1058609.40	2362116.16				
13	1058670.10	2362117.44	1058627.61	2362118.12				
14	1058687.15	2362120.85	1058714.60	2362125.23				
15	1058750.05	2362157.76	1058731.79	2362133.79	1058750.24	2362167.61		
16	1058760.03	2362173.08	1058765.09	2362204.68				
17	1058761.45	2362271.49	1058764.51	2362221.95			1058862.29	2362277.73
18	1058761.96	2362287.20	1058761.96	2362328.95			1058862.47	2362337.44
19	1058768.19	2362390.82	1058761.71	2362344.64	1058754.50	2362336.59	1058862.05	2362397.63
20	1058768.56	2362404.77	1058758.49	2362434.20	1058745.70	2362437.72	1058861.65	2362505.12
21	1058727.48	2362471.04	1058748.89	2362452.29			1058861.14	2362588.34
22	1058708.83	2362482.30	1058678.37	2362485.44			1058670.96	2362587.71
23	1058617.48	2362486.31	1058663.26	2362485.25			1058611.31	2362588.32
24	1058605.52	2362487.31	1058562.14	2362486.08			1058569.73	2362588.31
25	1058498.70	2362487.85	1058543.01	2362486.22			1058552.34	2362588.32
26	1058484.39	2362486.45	1058436.43	2362482.07	1058436.69	2362476.62	1058491.79	2362588.49
27	1058378.23	2362487.53	1058428.00	2362482.54			1058432.04	2362588.33
42	1058390.49	2362420.87	1058432.13	2362429.08				
43	1058484.29	2362422.82	1058442.98	2362431.33				
44	1058494.11	2362423.60	1058528.81	2362429.12				
45	1058587.43	2362424.39	1058545.75	2362428.01				
46	1058599.02	2362425.35	1058638.16	2362424.53				
47	1058685.35	2362416.46	1058656.13	2362426.22				
48	1058689.80	2362191.75	1058650.47	2362169.23				
49	1058606.43	2362168.85	1058644.01	2362169.56				
50	1058583.28	2362175.77	1058545.29	2362167.34				
51	1058495.16	2362176.56	1058537.19	2362166.17				
52	1058482.02	2362175.29	1058443.18	2362173.69				
53	1058391.93	2362179.64	1058433.73	2362174.19				

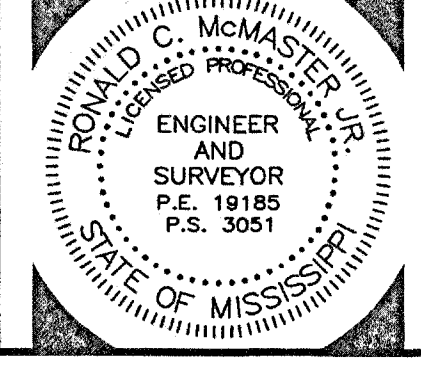
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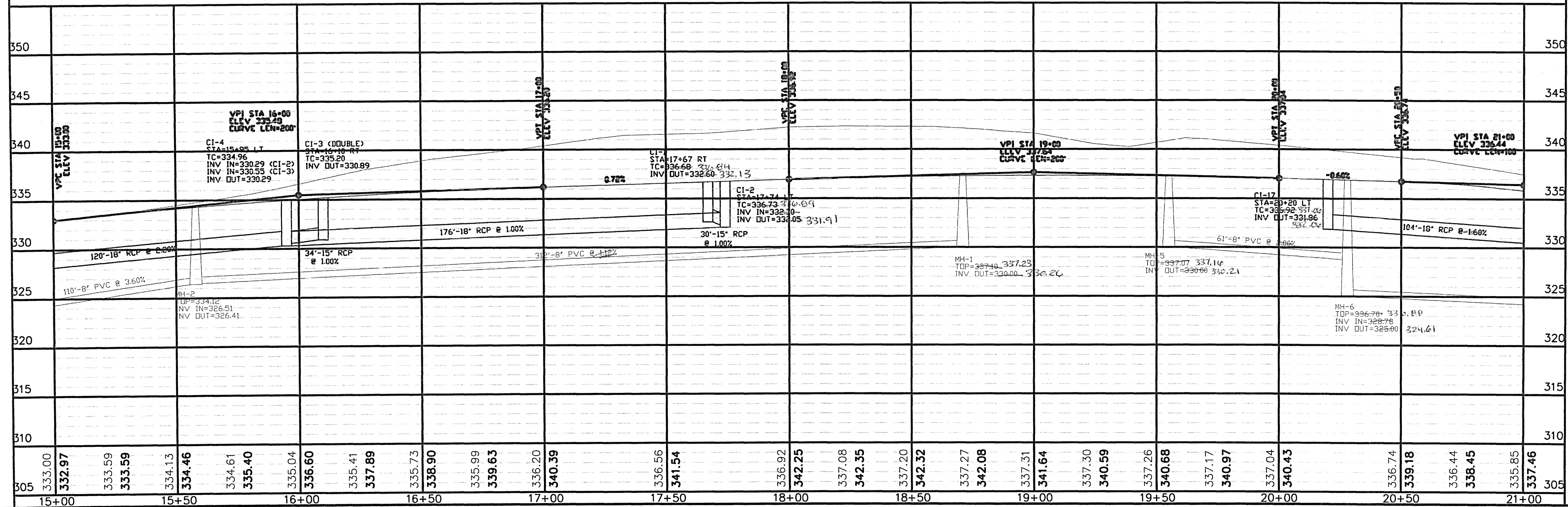
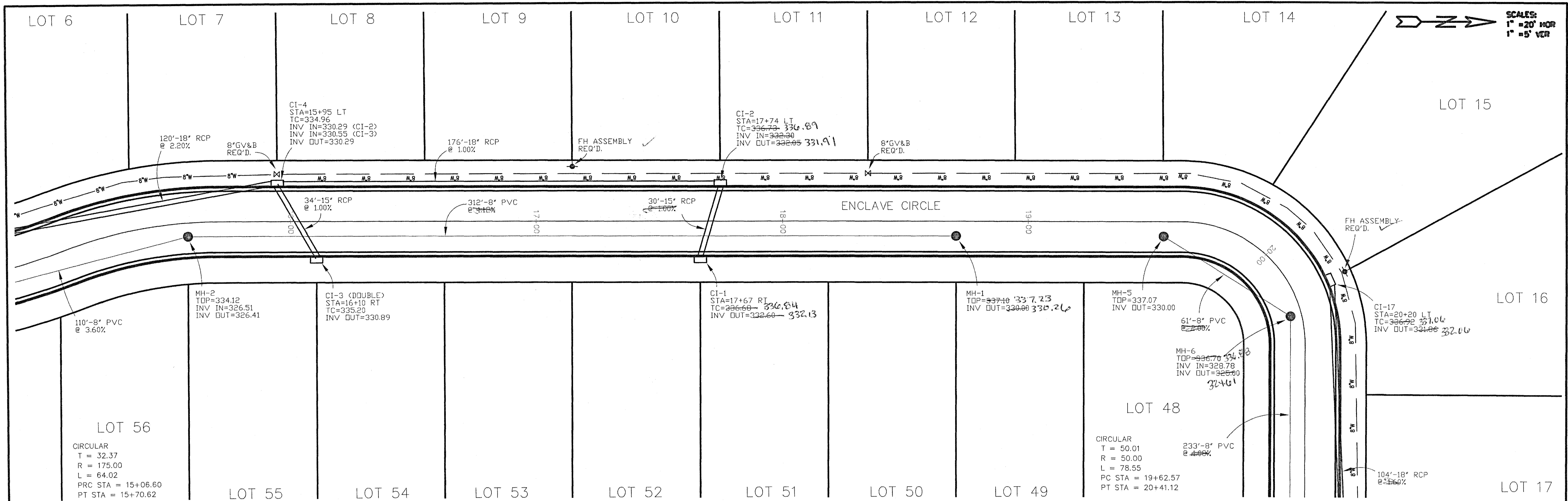
Project No.	M-2338-1	Designed By	R.C.M.
Date	12-15-15	Drawn By	S.J.S.
Scale	SEE ABOVE	Checked By	R.C.M.

THE ENCLAVE AT TOWNE CENTER (PART TWO)

McMASTER & ASSOCIATES, INC.
CIVIL ENGINEERS & LAND SURVEYORS

212 WATERFORD SQUARE
SUITE 300
MADISON, MS 39110
601.605.1090





DATE	REVISION

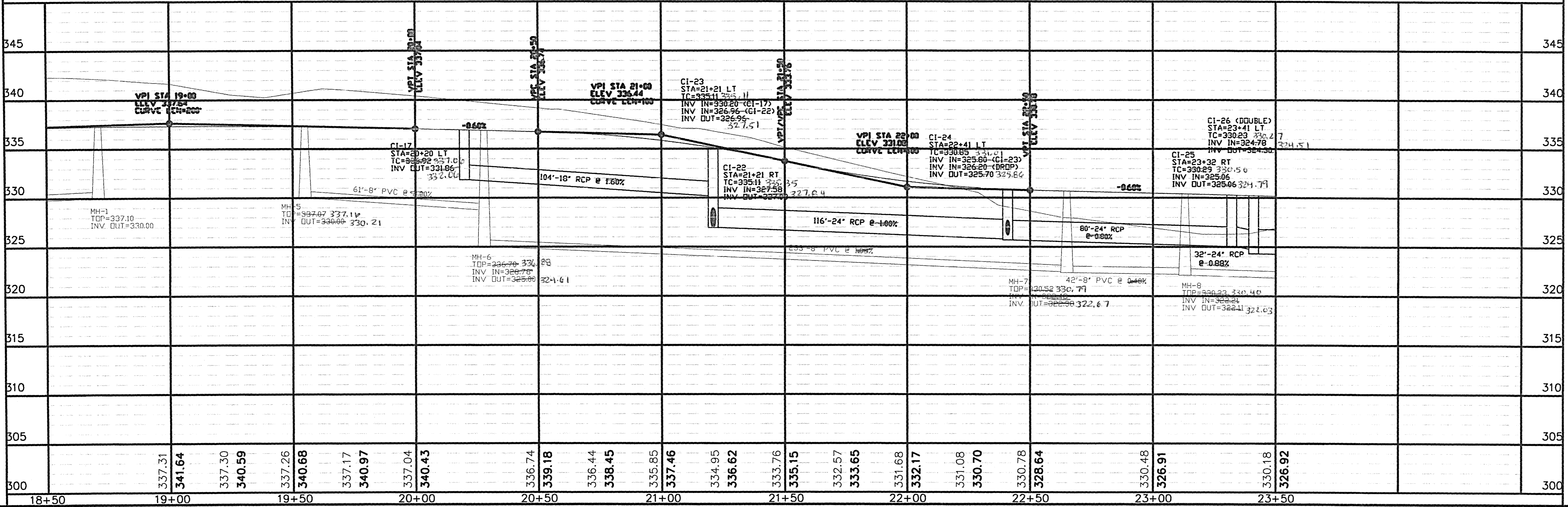
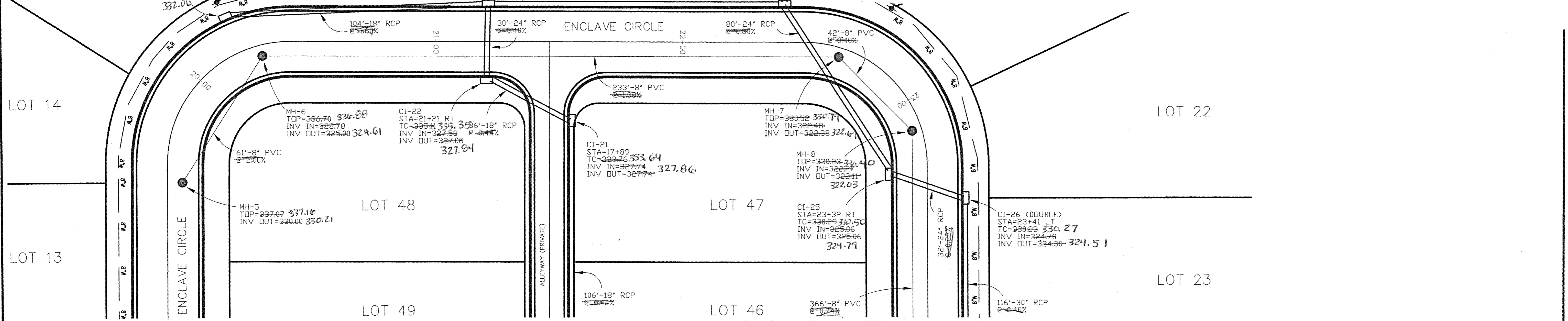
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 CHECKED BY: APPROVED BY:

B BANKS ENGINEERING & SURVEYING, INC.
 115 LONE WOLF DRIVE SUITE B • MADISON, MS 39110
 OFFICE (601) 407-1240 • FAX (601) 407-1245

CLIENT:
AYEFOUR DEVELOPMENT GROUP, LLC
 P.O. BOX 986
 RIDGELAND, MISSISSIPPI 39158

PROJECT:
THE ENCLAVE AT TOWNE CENTER
PLAN/PROFILE - ENCLAVE CIRCLE
15+00 TO 20+00

SHEET NO.
6



DATE	REVISION

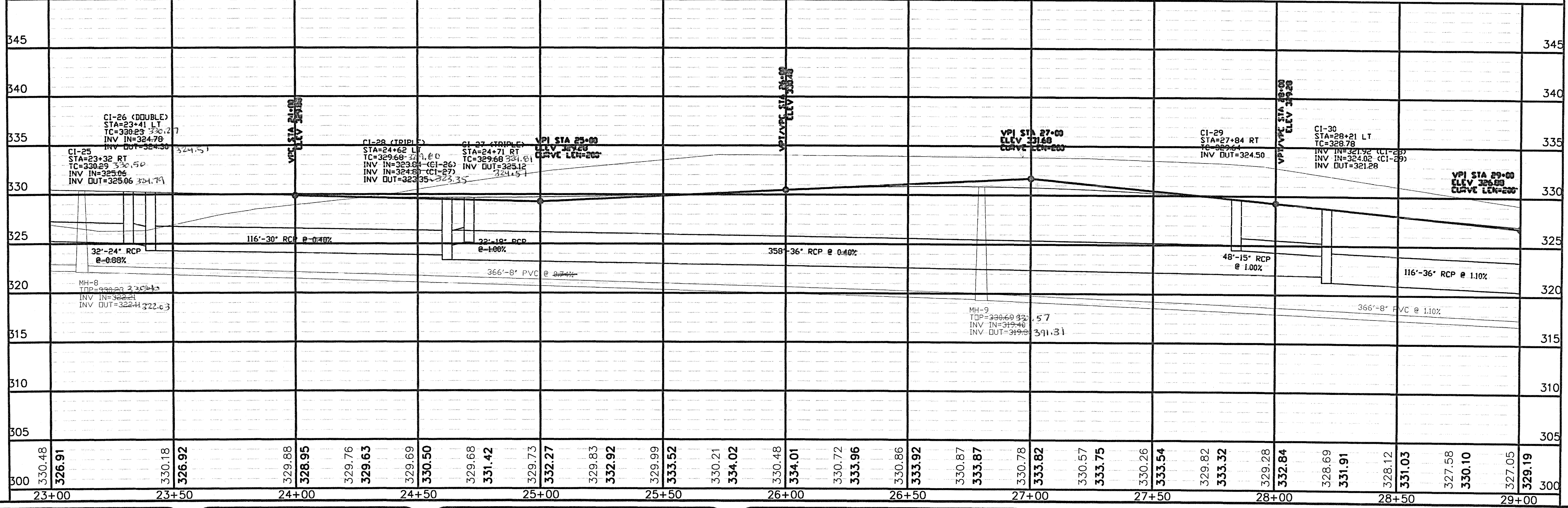
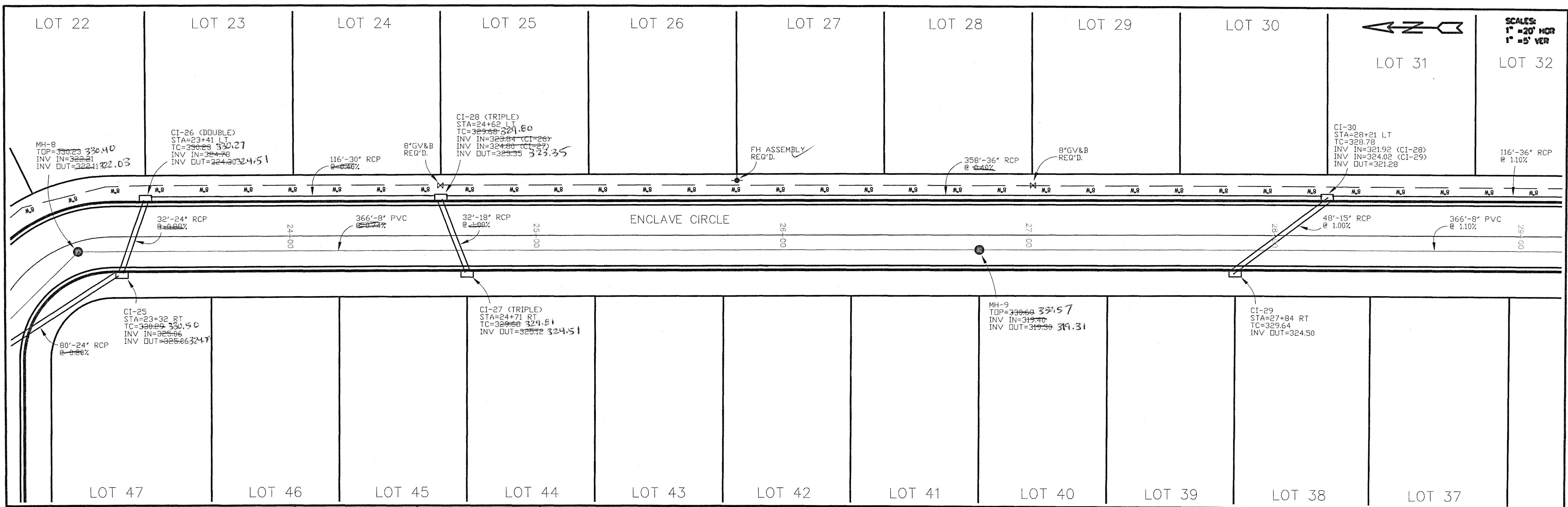
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 115 LONE WOLF DRIVE SUITE B • MADISON, MS 39110
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AYEFOUR DEVELOPMENT GROUP, LLC
 P.O. BOX 986
 RIDGELAND, MISSISSIPPI 39158

PROJECT:
THE ENCLAVE AT TOWNE CENTER
PLAN/PROFILE - ENCLAVE CIRCLE
20+00 TO 23+00

SHEET NO.
7



DATE	REVISION

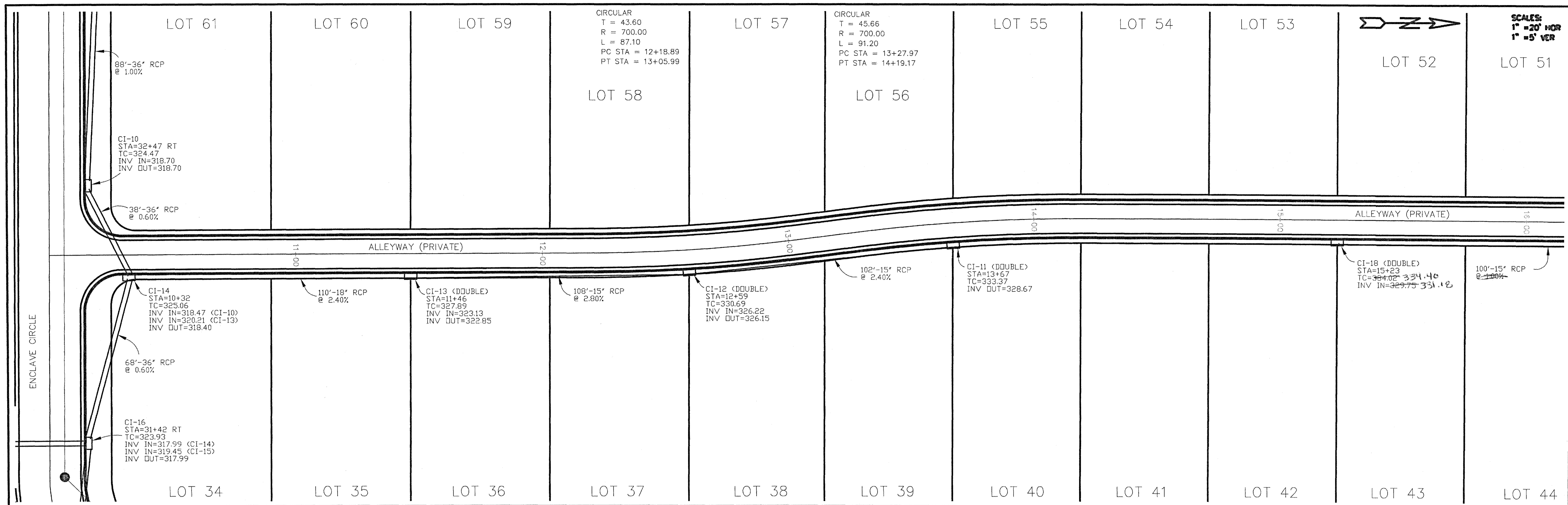
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B BANKS ENGINEERING & SURVEYING, INC.
 115 LOPE WOLF DRIVE SUITE B • MADISON, MS 39110
 OFFICE (601) 407-1240 • FAX (601) 407-1245

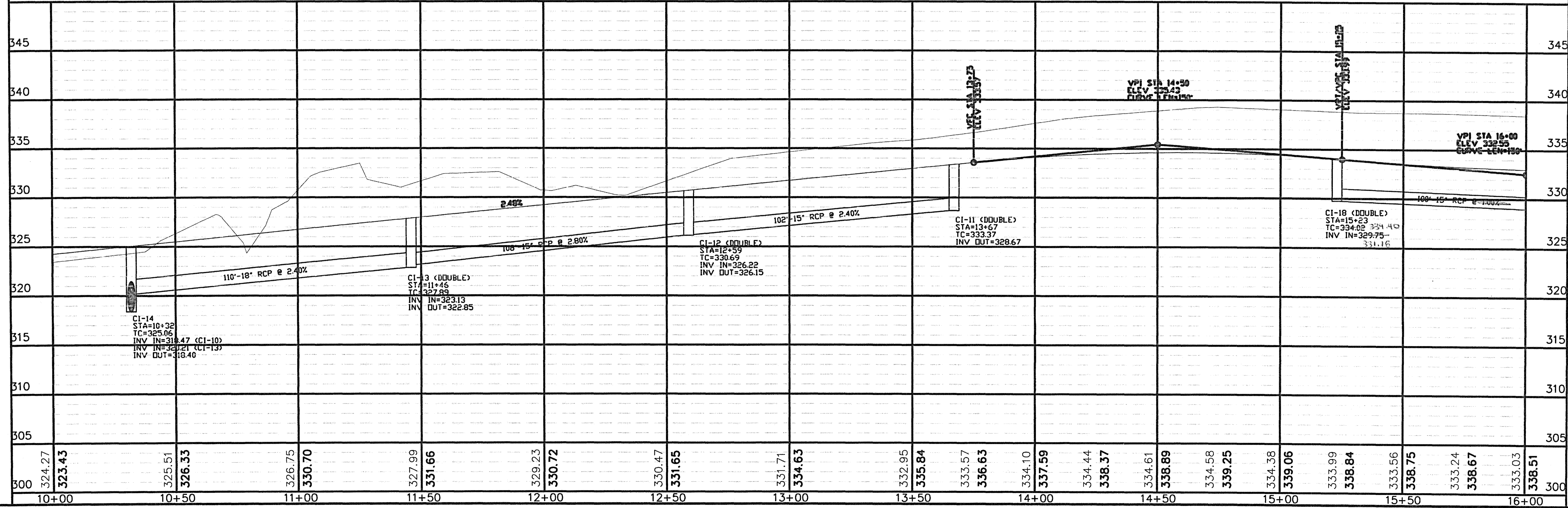
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AYEFOUR DEVELOPMENT GROUP, LLC
 P.O. BOX 986
 RIDGELAND, MISSISSIPPI 39158

PROJECT:
THE ENCLAVE AT TOWNE CENTER
PLAN/PROFILE - ENCLAVE CIRCLE
23+00 TO 29+00

SHEET NO.
8



SCALE:
1" = 20' HOR
1" = 5' VER



DATE	REVISION

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 115 LONE WOLF DRIVE SUITE B • MADISON, MS 39110
 OFFICE (601) 407-1240 • FAX (601) 407-1245

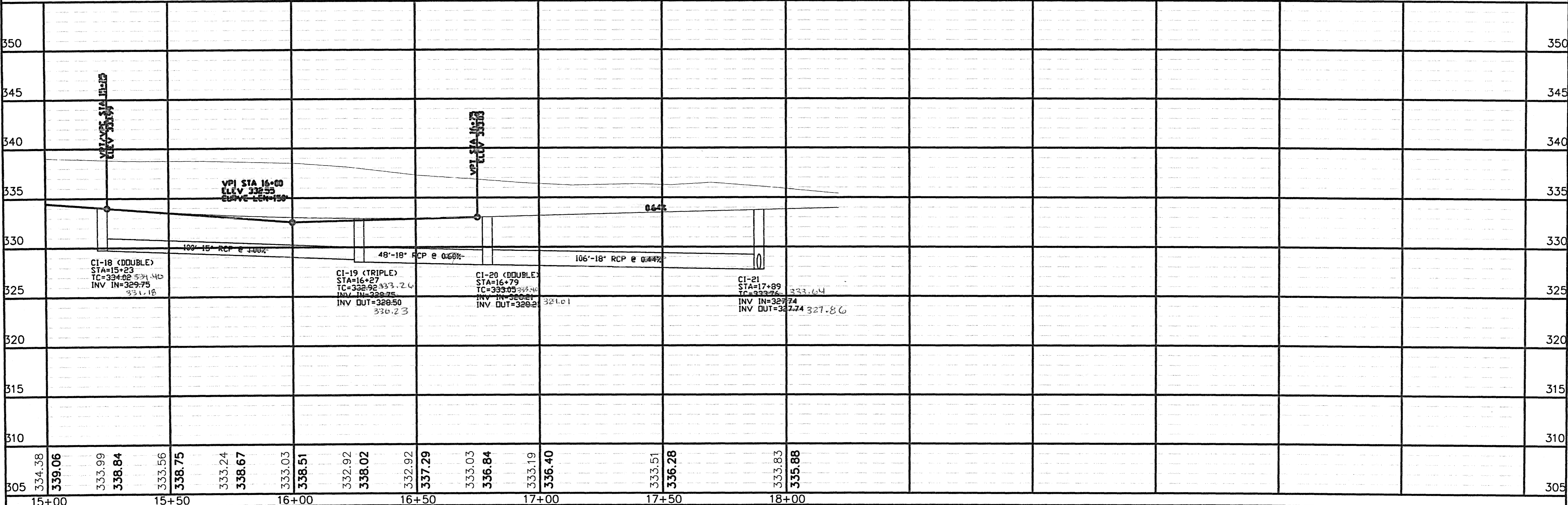
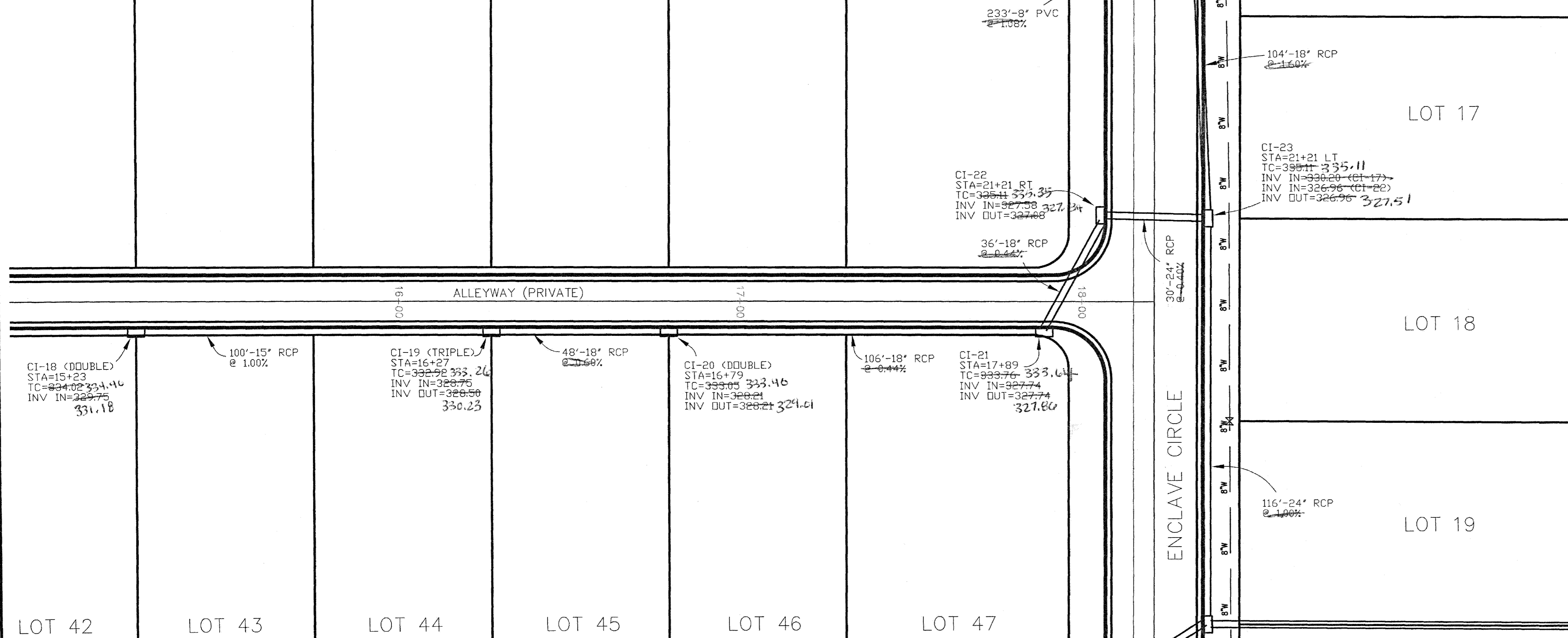
CLIENT:
AYEFOUR DEVELOPMENT GROUP, LLC
 P.O. BOX 986
 RIDGELAND, MISSISSIPPI 39158

PROJECT:
THE ENCLAVE AT TOWNE CENTER
PLAN/PROFILE - PRIVATE ALLEYWAY
B.O.P. TO 15+00

SHEET NO.
10

LOT 53 LOT 52 LOT 51 LOT 50 LOT 49 LOT 48 LOT 16

SCALES:
1" = 20' HOR
1" = 5' VER



DATE	REVISION

DRAWING NAME: C:\PROJECTS\160-10\057\160-10-057.TW

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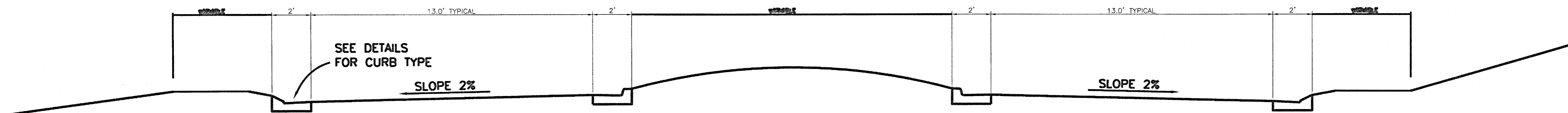
CHECKED BY: APPROVED BY:

B BANKS ENGINEERING & SURVEYING, INC.
115 LOPE WOLF DRIVE SUITE B • MADISON, MS 39110
OFFICE (601) 407-1240 • FAX (601) 407-1245

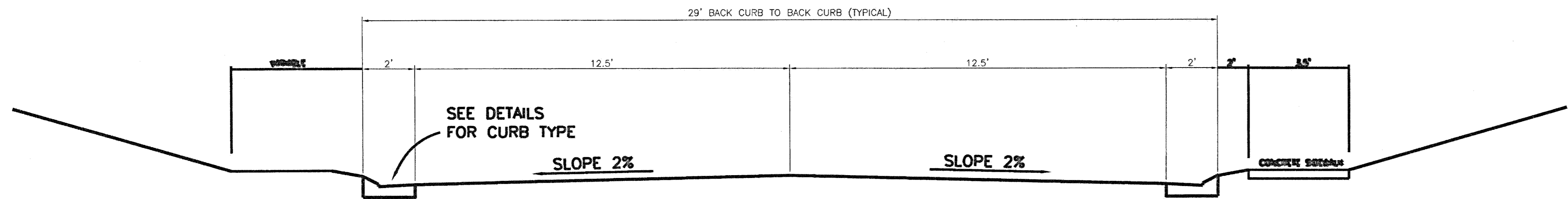
CLIENT:
AYEFOUR DEVELOPMENT GROUP, LLC
P.O. BOX 986
RIDGELAND, MISSISSIPPI 39158

PROJECT:
**THE ENCLAVE AT TOWNE CENTER
PLAN/PROFILE - PRIVATE ALLEYWAY
15+00 TO E.O.P.**

SHEET NO.
11

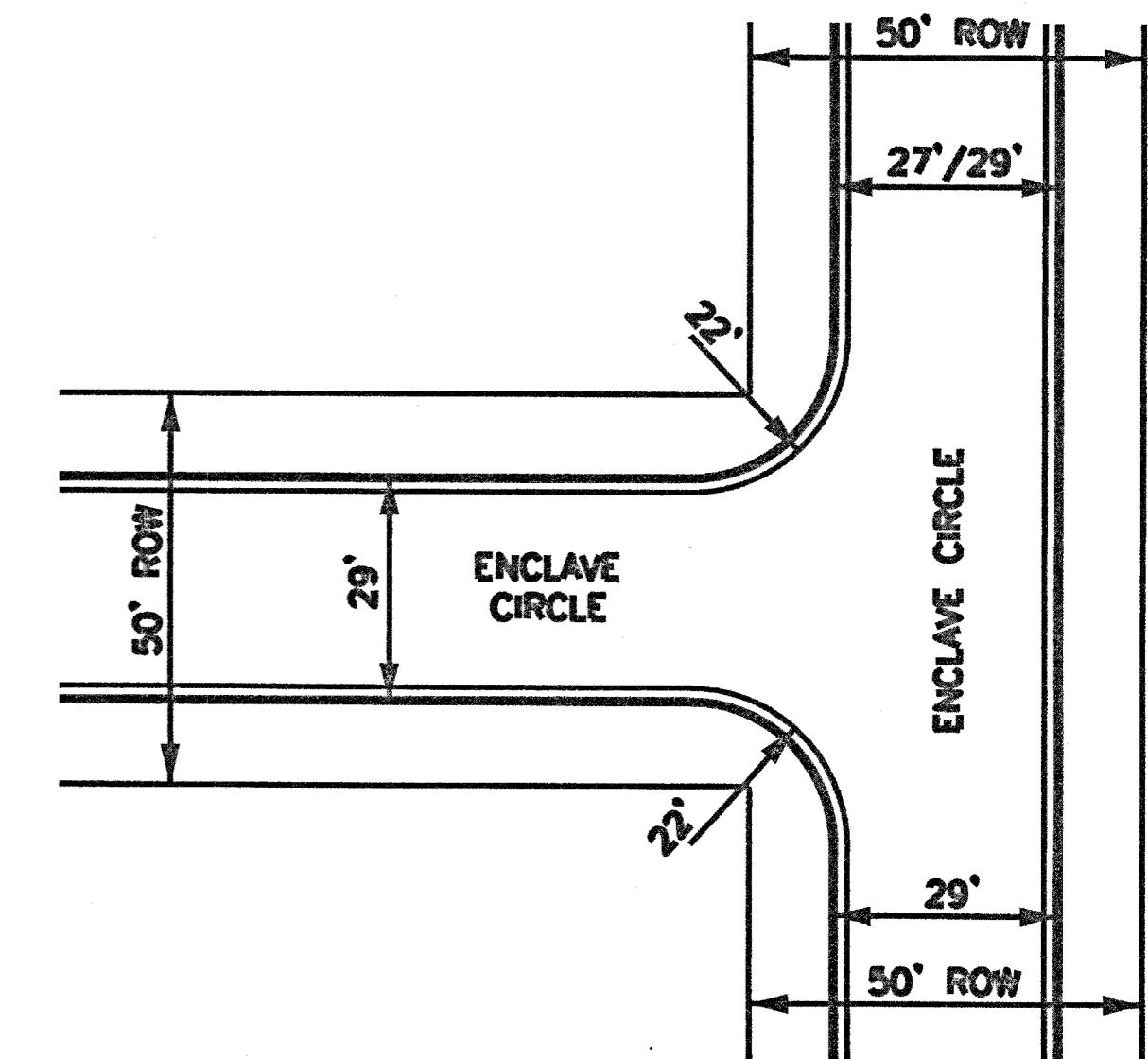


TYPICAL SECTION ENCLAVE CIRCLE (ISLAND AREA)

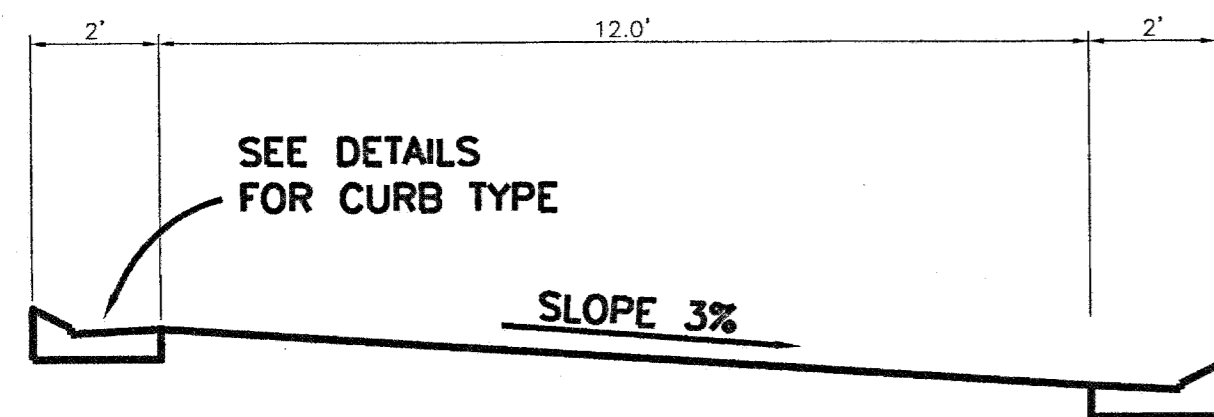


SIDEWALK WILL NOT BE CONSTRUCTED ON LOTS 1-33.
SIDEWALK WILL BE CONSTRUCTED ON LOTS 34-61 ONLY.
SEE SHEET #2 FOR ADA INFORMATION AND LOCATION

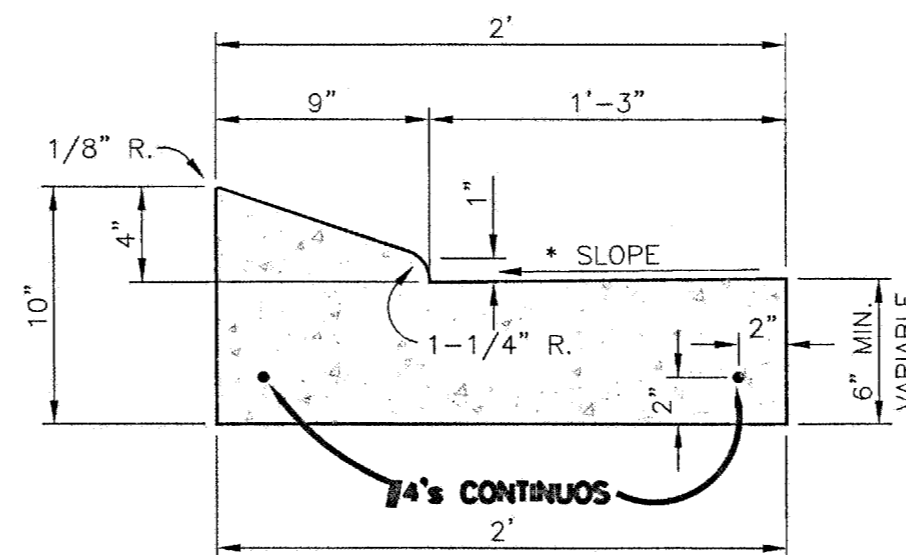
TYPICAL SECTION ENCLAVE CIRCLE



TYPICAL INTERSECTION DETAIL
N.T.S.



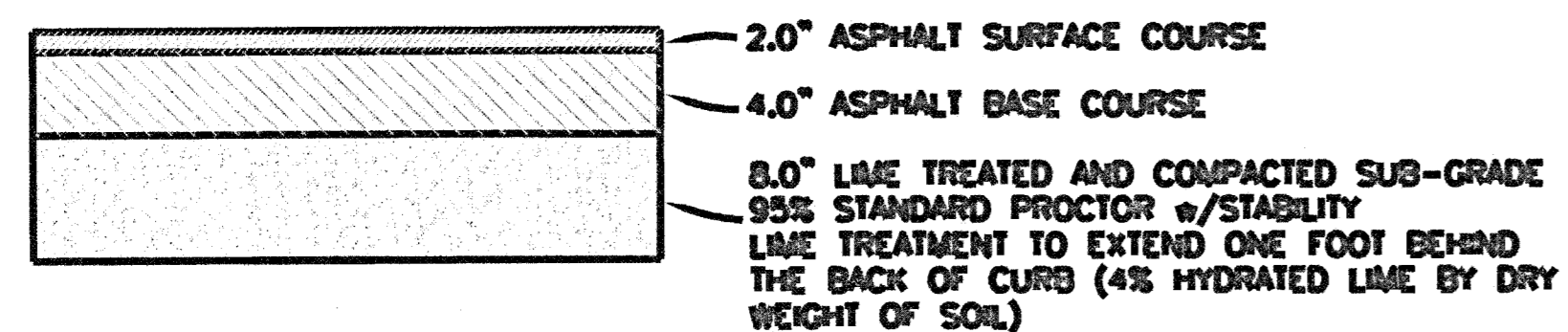
TYPICAL SECTION ALLEYWAY (PRIVATE)



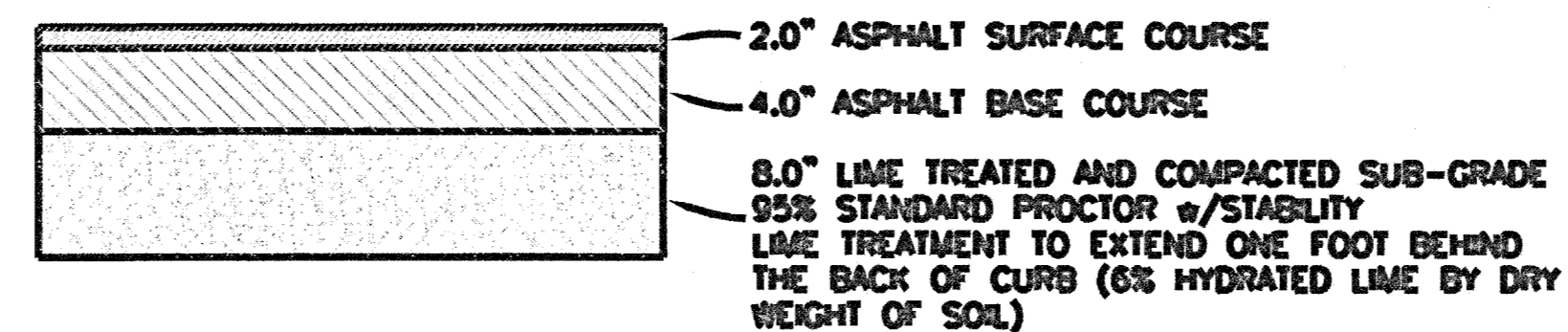
* AS APPLICABLE - 3/16"/FT., 1/4"/FT., 1/2"/FT.

DETAIL OF COMBINATION CURB & GUTTER

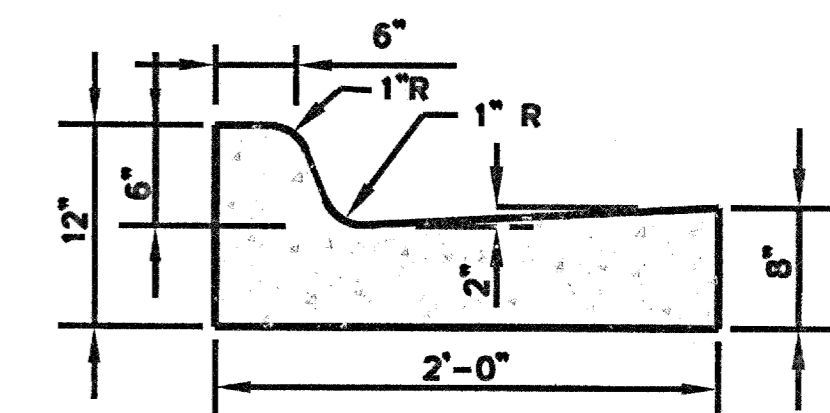
N.T.S.
USE ON ENCLAVE CIRCLE AND ALLEYWAY



TYPICAL MINIMUM ASPHALT PAVEMENT ALLEYWAY
N.T.S.



TYPICAL MINIMUM ASPHALT PAVEMENT ENCLAVE CIRCLE
N.T.S.



STANDARD CURB AND GUTTER
USE ON INTERIOR ISLAND ONLY

DATE	REVISION

DRAWING NAME: C:\PROJECTS\160-10\057\DETAILS\TYPSEC.DWG	SCALE: NOT TO SCALE
DRAWN BY: NPW	PROJECT NO.: 160-10-057
DATE OF DRAWING: 5-11	CHECKED BY: _____
CHECKED BY: _____	APPROVED BY: _____

B BANKS ENGINEERING & SURVEYING, INC.
115 LONE WOLF DRIVE SUITE B • MADISON, MS 39110
OFFICE (601) 407-1240 • FAX (601) 407-1245

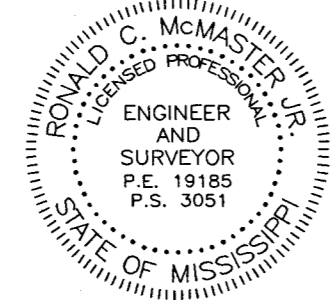
CLIENT:
AYEFOUR DEVELOPMENT GROUP, LLC
P.O. BOX 986
RIDGELAND, MISSISSIPPI 39158

PROJECT:
THE ENCLAVE AT TOWNE CENTER
TYPICAL SECTIONS

SHEET NO.
12

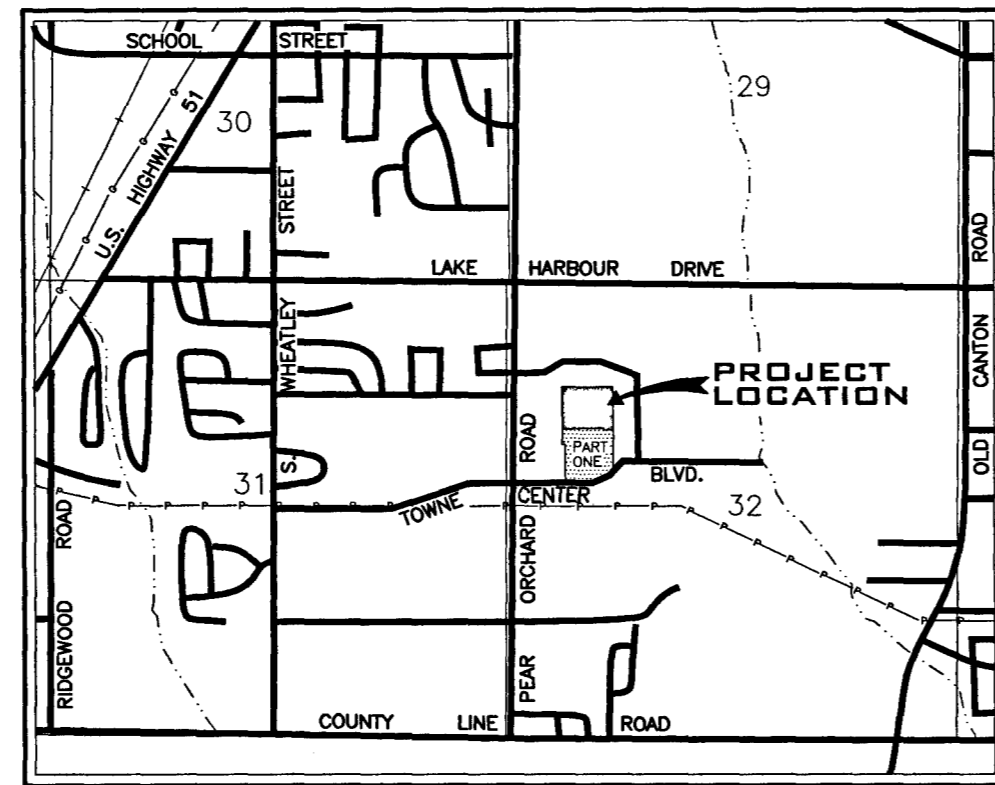
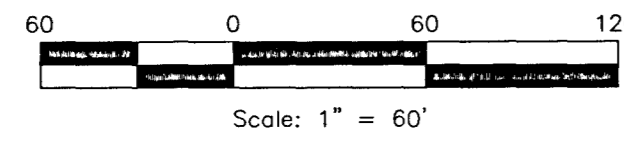
THE ENCLAVE AT TOWNE CENTER (PART TWO)

SITUATED IN SECTION 21, TOWNSHIP 7 NORTH, RANGE 1 EAST,
CITY OF RIDGELAND, MADISON COUNTY, MISSISSIPPI



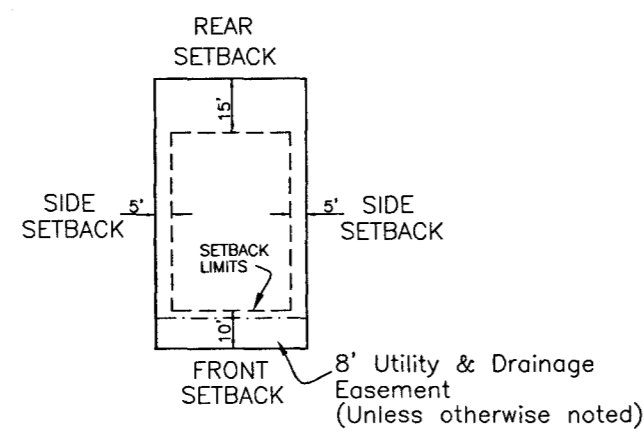
Class "B" Survey
Bearings Based on Survey
Grade GPS Observations
Taken July 24, 2015
(Geodetic North)

Our Job No. M-2338 Final Plot
Date - November 30, 2015
POB - Point of Beginning
POC - Point of Commencement
Iron Pin (1/2"x18" Iron Rebar)
Easement Boundary



VICINITY MAP

Curve #	Length	Radius	Chord Direction	Chord Length
C1	38.61	75.00	S14° 53' 31"W	38.18
C2	47.19	75.00	S47° 39' 44"W	46.41
C3	32.09	75.00	S77° 56' 35"W	31.84
C4	37.80	75.00	N75° 21' 42"W	37.40
C5	46.15	75.00	N43° 17' 45"W	45.42
C6	33.36	75.00	N12° 55' 39"W	33.08
C7	39.10	25.00	N44° 59' 43"W	35.23
C8	39.29	25.00	S45° 10' 22"W	35.37

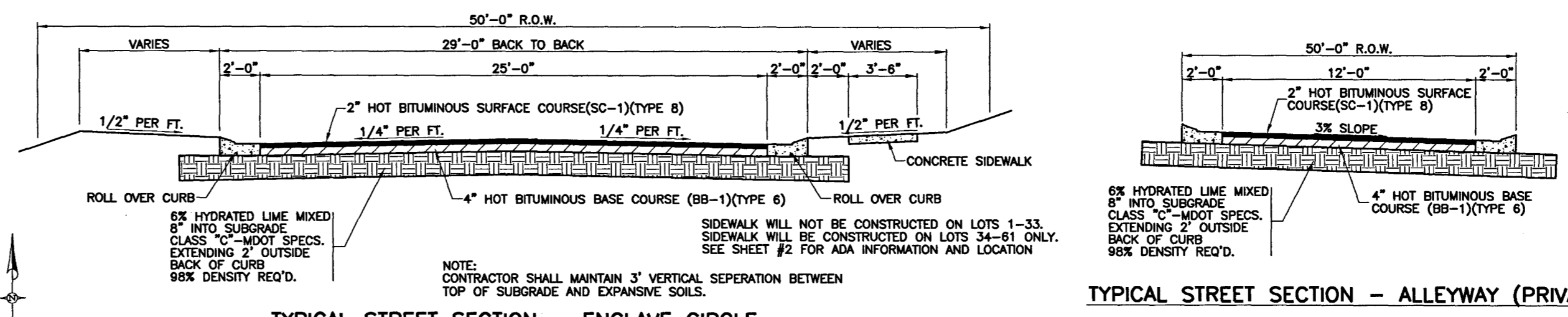


TYPICAL LOT DETAIL
Not To Scale

HYDRAULIC INFORMATION

DRAINAGE AREA (PRE) - 427.00 AC.
DRAINAGE AREA (POST) - 427.00 AC.
100 YEAR RUNOFF (PRE) - 75.06 CFS
100 YEAR RUNOFF (POST) - 102.62 CFS
DETENTION OUTFLOW - 81.97 CFS (75% DETAINED)
DETENTION MAX. ELEV. - 319.51'

- NOTES:
- THIS PARCEL OF LAND IS SITUATED IN FLOOD ZONE X, WHICH IS AN AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON FIRM MAP NUMBER 26089C0586F, DATED MARCH 17, 2010, MADISON COUNTY, MS DATED MARCH 17, 2010.
 - IRON PINS AT LOT CORNERS AS SHOWN ON THIS PLAT. FIELD WORK MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "B" SURVEY.
 - THIS PROPERTY IS SUBJECT TO THOSE CERTAIN RESTRICTIVE COVENANTS RECORDED IN BOOK 2911 AT PAGE 227 AND BOOK 2953 AT PAGE 754 AND ANY AMENDMENTS OR SUPPLEMENTS THERETO.
 - DRAINAGE EASEMENTS DESIGNATED AS "PRIVATE" SHALL BE OWNED & MAINTAINED BY THE HOME OWNERS ASSOCIATION.



Ayefour Development Group, LLC
See Deed Book 2567
At Page 401
±6.6336 Acres
±288,957.54 Sq. Ft.

The Orchard, Ltd.
See Deed Book 211
At Page 314

Section 30
T7N-R2E

Section 31

Section 29

Section 32

POB

Concrete Monument

Concrete Monument

Concrete Monument

Concrete Monument

Concrete Monument

Concrete Monument

Concrete Monument

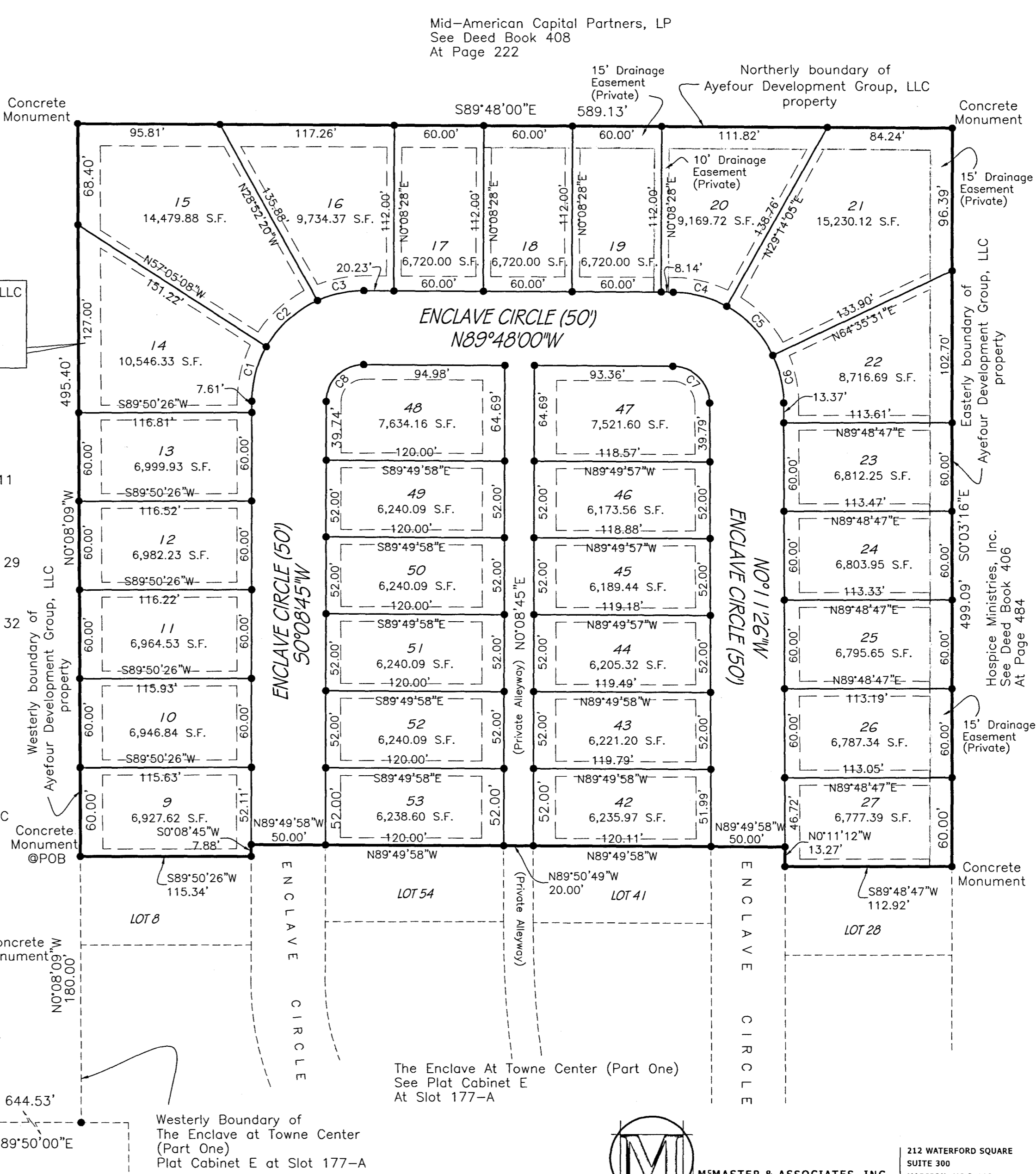
Concrete Monument

Concrete Monument

Concrete Monument

Concrete Monument

Concrete Monument



Mid-American Capital Partners, LP
See Deed Book 408
At Page 222

Northerly boundary of
Ayefour Development Group, LLC
property

15' Drainage Easement (Private)

10' Drainage Easement (Private)

15' Drainage Easement (Private)

Easterly boundary of
Ayefour Development Group, LLC
property

15' Drainage Easement (Private)

15' Drainage Easement (Private)

15' Drainage Easement (Private)

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15' Drainage Easement (Private)

15' Drainage Easement (Private)

15' Drainage Easement (Private)

15' Drainage Easement (Private)

15' Drainage Easement (Private)



McMASTER & ASSOCIATES, INC.
CIVIL ENGINEERS & LAND SURVEYORS

212 WATERFORD SQUARE
SUITE 200
MADISON, MS 39110
601.605.1090

THE ENCLAVE AT TOWNE CENTER (PART TWO)

SITUATED IN SECTION 21, TOWNSHIP 7 NORTH, RANGE 1 EAST,
CITY OF RIDGELAND, MADISON COUNTY, MISSISSIPPI

CERTIFICATE AND DEDICATION OF OWNER

STATE OF MISSISSIPPI

COUNTY OF MADISON

I, Scott Shoemaker, Member/Manager of Ayefour Development Group, LLC, a Mississippi Limited Liability Company, do hereby certify that the aforementioned is the owner of the land described in the foregoing certificate of Ronald C. McMaster, Jr., Professional Engineer and Surveyor, and that as a Member/Manager of said Ayefour Development Group, LLC and owner, have caused the same to be subdivided and platted as shown hereon, and hereby adopt this plat of said subdivision as the free act and deed of said limited liability company and owner, have dedicated all utilities to the public use.

Notwithstanding anything to the contrary appearing in this Certificate or elsewhere on this plat, the undersigned does hereby grant and convey to the City of Ridgeland, or to the proper entity lawfully owning, operating, or maintaining any utility system in this subdivision, THE ENCLAVE AT TOWNE CENTER (PART TWO), a right of way and easement over, along, and across said streets or drives as shown on said plat or across any other area designated as a utility easement, for the purpose of constructing, servicing, maintaining, or repairing any of said utilities.

All utilities, utility easements, and other easements are as designated and defined hereon.

WITNESS THE SIGNATURE OF THE UNDERSIGNED, this the _____ day of _____, 2016.

Ayefour Development Group, LLC
A Mississippi Limited Liability Company

By: _____
Scott Shoemaker, Member/Manager

CITY PLANNING AND ENGINEER'S APPROVAL
STATE OF MISSISSIPPI
CITY OF RIDGELAND
COUNTY OF MADISON

We have examined this plat and find that it conforms to all conditions set forth on the preliminary plat as approved by the Mayor and Board of Aldermen and thus recommend final approval.

Public Works Director

Chairman
City Planning and Zoning Board

CITY APPROVAL CERTIFICATE
STATE OF MISSISSIPPI
CITY OF RIDGELAND
COUNTY OF MADISON

I hereby certify that this is a true copy and that this plat was approved by the Mayor and Board of Aldermen in session on the _____ day of _____, 2016.

ATTEST:

City Clerk
City of Ridgeland

Mayor
City of Ridgeland

FILING AND RECORDATION
STATE OF MISSISSIPPI
COUNTY OF MADISON

I, Ronny Lott, Chancery Clerk in and for said County and State, do hereby certify that the final plat of THE ENCLAVE AT TOWNE CENTER (PART TWO) was filed for record in my office on this the _____ day of _____, 2016, and was duly recorded in Plat Cabinet _____ at Slide _____ of the records of maps and plats of land in Madison County, Mississippi.

Given under my hand and seal of office this the _____ day of _____, 2016.

By: _____ D.C.
Ronny Lott, Chancery Clerk

ENGINEER'S CERTIFICATE OF COMPLIANCE WITH
SUBDIVISION REGULATIONS
STATE OF MISSISSIPPI
COUNTY OF MADISON

I hereby certify that the monuments and markers shown hereon are in place on the ground and the plan and plat shown and described hereon are a true and correct representation of a survey to the accuracy designated in the Subdivision Regulations for the City of Ridgeland, Madison County, Mississippi.

WITNESS MY SIGNATURE on the 25th day of January, 2016

Ronald C. McMaster, Jr., P.E., P.S.

PROFESSIONAL LAND SURVEYOR'S CERTIFICATE
STATE OF MISSISSIPPI
COUNTY OF MADISON

I, Ronald C. McMaster, Jr., Professional Engineer and Surveyor, do hereby certify that at the request of the owners, have subdivided and platted the following described land, as follows, to-wit:

A parcel or tract of land, containing 6.6336 acres (288,957.54 sq. ft.), more or less, lying and being situated in the NW 1/4 of Section 32, 17N-R2E, City of Ridgeland, Madison County, Mississippi, being a part of the Ayefour Development Group, LLC property as described in Deed Book 2567 at Page 401 of the Records of the Office of the Chancery Clerk of said Madison County, at Canton, Mississippi, and being more particularly described as follows:

COMMENCING at an iron pin representing the northwest corner of that parcel described in Book 211 at Page 314, said iron pin being 35.0 feet east of and 1099.80 feet south of the northwest corner of Section 32, Township 7 North, Range 2 East, Madison County, Mississippi; run thence

South 00 degrees 03 minutes 23 seconds West along the Easterly right-of-way of Pear Orchard Road, for a distance of 209.50 feet to a concrete monument; thence

South 00 degrees 10 minutes 00 seconds East along said right-of-way for a distance of 466.59 feet to the southwest corner of said parcel described in Book 211 at Page 314; thence

South 89 degrees 50 minutes 00 seconds East for a distance of 644.53 feet to an iron pin representing the southeast corner of said parcel described in Book 211 at Page 314, said point also lying on the Westerly boundary of The Enclave At Towne Center (Part One) as referenced on map or plat of same in Plat Cabinet E at Slot 177-A in the above Records of said Madison County, Mississippi; thence

North 00 degrees 08 minutes 09 seconds West along the Westerly boundary of said Enclave At Towne Center (Part One), for a distance of 180.00 feet to a concrete monument at the NW corner, thereof, said point also lying on the Westerly boundary of the above referenced Ayefour Development Group, LLC property and POINT OF BEGINNING of the herein described property; thence

North 00 degrees 08 minutes 09 seconds West along the Westerly boundary of said Ayefour Development Group, LLC property, for a distance of 495.40 feet to a concrete monument at the NW corner, thereof; thence

South 89 degrees 48 minutes 00 seconds East along the Northerly boundary of said Ayefour Development Group, LLC property for a distance of 589.13 feet to a concrete monument at the NE corner, thereof; thence

South 00 degrees 03 minutes 16 seconds East along the Easterly boundary of said Ayefour Development Group, LLC property for a distance of 499.09 feet to a concrete monument being and lying at the NE corner of the above referenced, The Enclave At Towne Center (Part One); thence

Leaving the Easterly boundary of said Ayefour Development Group, LLC property, run along the Northerly boundary of The Enclave At Towne Center (Part One) to iron pins at each of the following calls:

South 89 degrees 48 minutes 47 seconds West for a distance of 112.92 feet; thence
North 00 degrees 11 minutes 12 seconds West for a distance of 13.27 feet; thence
North 89 degrees 49 minutes 58 seconds West for a distance of 170.11 feet; thence
North 89 degrees 50 minutes 49 seconds West for a distance of 20.00 feet; thence
North 89 degrees 49 minutes 58 seconds West for a distance of 170.00 feet; thence
South 00 degrees 08 minutes 45 seconds West for a distance of 7.88 feet; thence

South 89 degrees 50 minutes 26 seconds West for a distance of 115.34 feet to the POINT OF BEGINNING of the above described parcel or tract of land.

Witness my signature, this the 25th day of January, 2016.

Ronald C. McMaster, Jr., Professional Engineer and Surveyor
Mississippi P.S. No. 3051

CERTIFICATE OF COMPARISON
STATE OF MISSISSIPPI
COUNTY OF MADISON

We, Ronny Lott, Chancery Clerk and Ronald C. McMaster, Jr., Professional Engineer and Surveyor, do hereby certify that we have carefully compared this plat of THE ENCLAVE AT TOWNE CENTER (PART TWO) with the original thereof, as made by Ronald C. McMaster, Jr., Professional Engineer and Surveyor, and find it to be a true and correct copy of said map or plat.

Given under my hand and seal of office this the _____ day of _____, 2016.

Ronald C. McMaster, Jr., P.E., P.S. Ronny Lott, Chancery Clerk

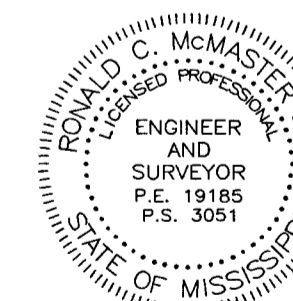
By: _____ D.C.

ACKNOWLEDGMENT
STATE OF MISSISSIPPI
COUNTY OF MADISON

Personally appeared before me, the undersigned officer in and for the jurisdiction aforesaid, the within named Scott Shoemaker, who acknowledged to me that he is a Member/Manager of Ayefour Development Group, LLC, a Mississippi Limited Liability Company, who acknowledged to me that he signed and delivered this plat and the certificates thereon, for and on behalf of, said Ayefour Development Group, LLC, as his act and deed, after being authorized so to do, and Ronald C. McMaster, Jr., Professional Engineer and Surveyor, who acknowledged to me that he signed and delivered this plat and the certificates thereon as his own act and deed, on the day and year herein mentioned.

Given under my hand and seal of office this the _____ day of _____, 2016.

By: _____ D.C.
Ronny Lott, Chancery Clerk



M-MASTER & ASSOCIATES, INC.
CIVIL ENGINEERS & LAND SURVEYORS

212 WATERFORD SQUARE
SUITE 300
MADISON, MS 39110
601.665.1090