# CONSTRUCTION PLANS

FOR

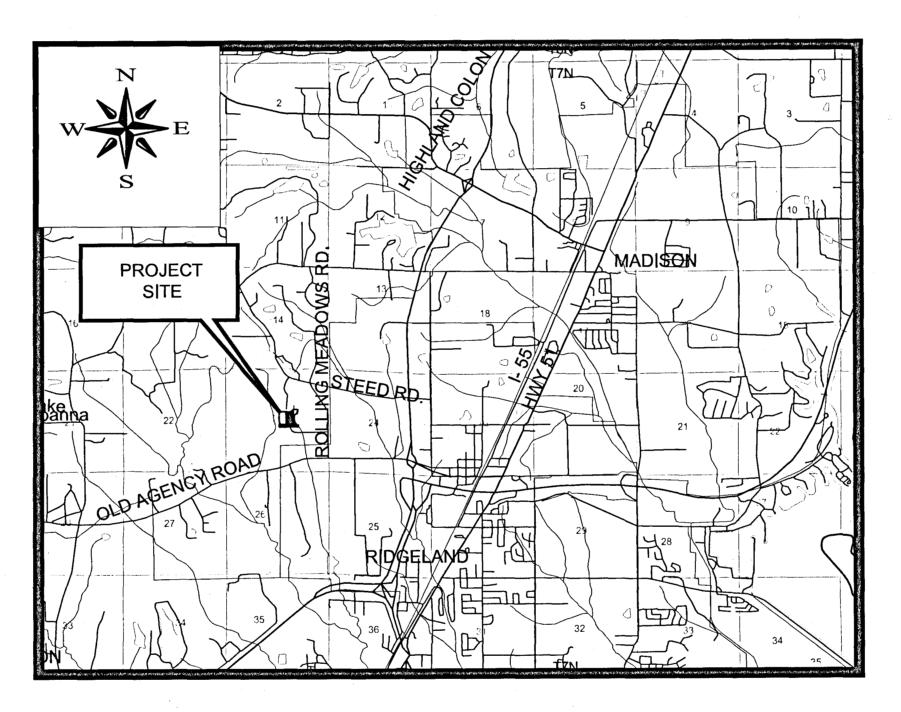
## STILLWOOD RESIDENTIAL DEVELOPMENT

MADISON COUNTY, MS

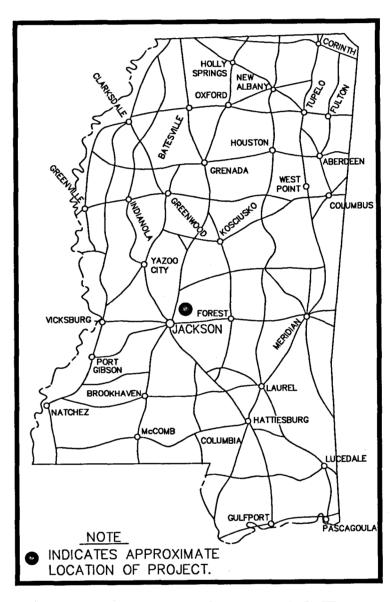
DECEMBER, 2006

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VICINITY MAP



**LOCATION MAP** 

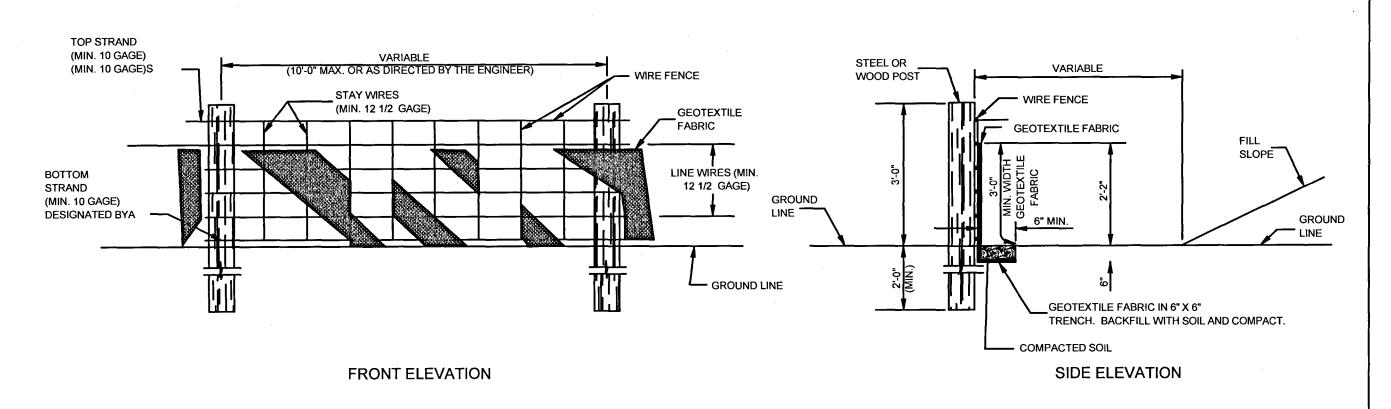


854 WILSON DRIVE SUITE A RIDGELAND, MS 39157

TEL (601) 899-5158 FAX (601) 899-5110



AS BUILT



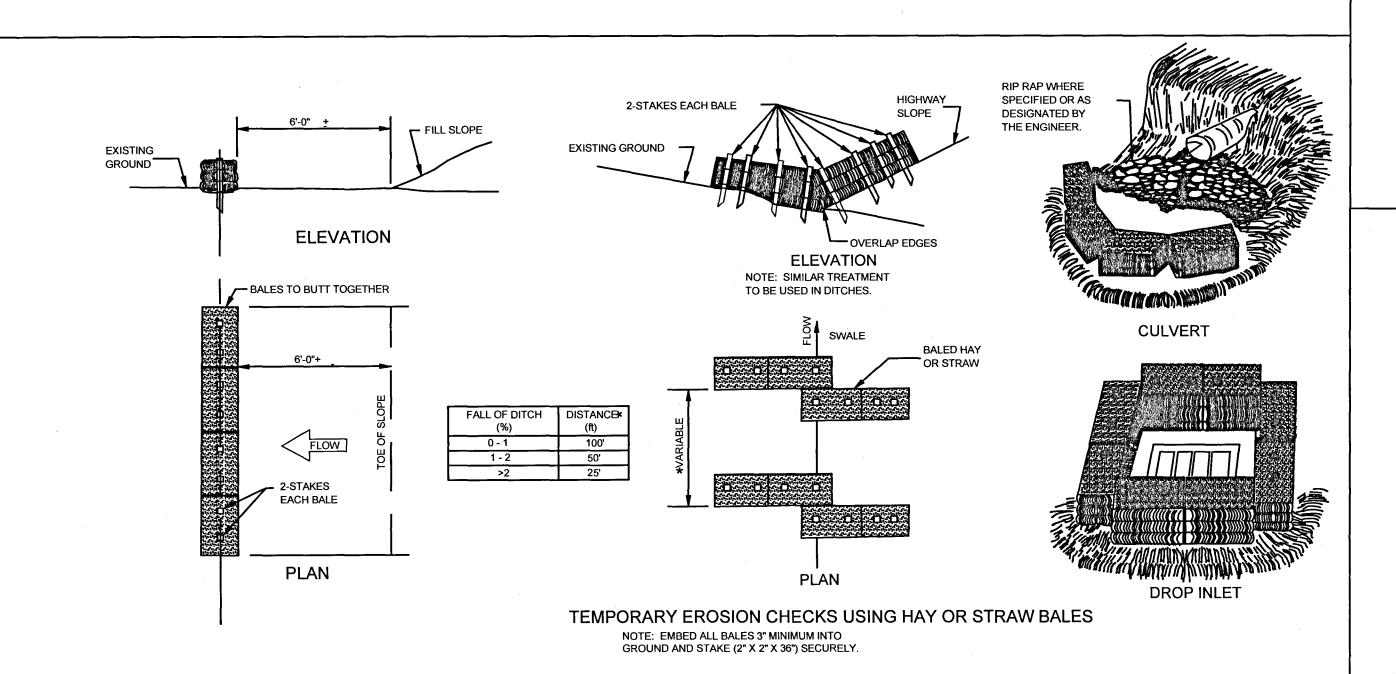
### TEMPORARY SILT FENCE

1. WIRE SHALL BE MINIMUM OF 32" IN WIDTH AND SHALL HAVE A MINIMUM OF 6 LINE WIRES WITH 12" STAY SPACING.

2. GEOTEXTILE FABRIC SHALL BE A MINIMUM OF 36" IN WIDTH AND SHALL BE FASTENED ADEQUATELY TO THE WIRE AS DIRECTED BY THE ENGINEER.

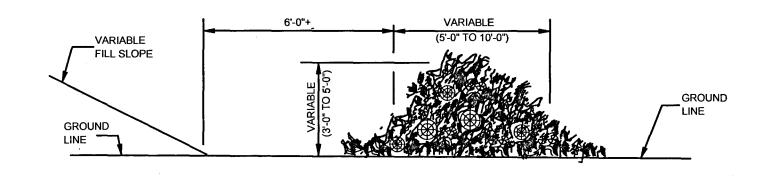
3. STEEL POST SHALL BE 5'-0" IN HEIGHT AND OF THE SELF-FASTENER ANGLE STEEL TYPE WOOD POST SHALL BE A MINIMUM OF 5'-0" IN HEIGHT AND 3" OR MORE IN DIAMETER. WIRE FENCE SHALL BE FASTENED TO WOODEN POST WITH NOT LESS THAN 9 GAGE

WIRE STAPLES 1" LONG. 4. GEOTEXTILE FABRIC MEETING THE TYPE II MATERIAL REQUIREMENTS AND INSTALLED ACCORDING TO SPECIFICATIONS MAY BE USED WITHOUT WIRE FENCE.





## FRONT ELEVATION



## SIDE ELEVATION

## TEMPORARY BRUSH BARRIER

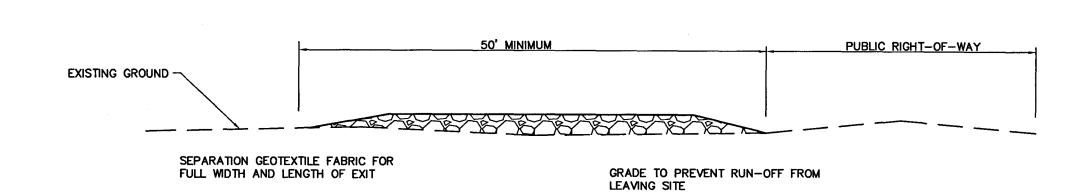
- 1. BRUSH BARRIER TO BE USED WHERE NATURAL GROUND IS LEVEL OR SLOPING AWAY FROM PROJECT. 2. PLACE BRUSH, LOG AND TREE LAPS APPROXIMATELY PARALLEL TO TOE OF FILL SLOPE WITH SOME OF THE HEAVIER MATERIALS BEING PLACED ON TOP TO PROPERLY SECURE THE BARRIER AS DETAILED AT LOCATIONS SHOWN ON PLANS OR AS DIRECTED BY THE ENGINEER.
- 3. TO ALLOW WATER TO FLOW THROUGH BRUSH BARRIER, INTERMINGLE THE BRUSH, LOG AND TREE LAPS SO AS NOT TO FORM A SOLID DAM.

### GENERAL NOTES:

- 1. THE CONTRACTOR SHALL BE REQUIRED TO FURNISH ALL MATERIALS AND PERFORM ALL WORK FOR THE PROPER INSTALLATION, MAINTENANCE AND REMOVAL OF TEMPORARY EROSION CONTROL MEASURES NECESSARY TO CONTROL SILTATION.
- 2. TEMPORARY BRUSH BARRIERS SHALL BE USED AS REQUIRED BUT WILL NOT BE MEASURED FOR SEPARATE PAYMENT.
- 3. THE USE OF TEMPORARY EROSION CONTROL MEASURES OTHER THAN TEMPORARY BRUSH BARRIERS WILL ONLY BE REQUIRED AND MEASURED FOR SEPARATE PAYMENT WHEN APPROPRIATE PAY ITEM(S) IS INCLUDED IN THE BID SCHEDULE OF THE PROPOSAL

PUBLIC RIGHT-OF-WAY

- 1. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN EROSION CONTROL MEASURES DURING CONSTRUCTION TO PREVENT DOWNSTREAM SILTATION OF ANY DITCHES. PIPES, DRAINAGE STRUCTURES, OR ADJACENT PROPERTIES. THE CONTRACTOR SHALL PROVIDE ANY ADDITIONAL EROSION CONTROL AS NEEDED OR AS DIRECTED BY THE ENGINEER.
- 2. ALL NEWLY CUT OR FILLED AREAS LACKING ADEQUATE VEGETATION SHALL BE FERTILIZED, MULCHED, SEEDED, AND/OR SODDED AS REQUIRED TO EFFECTIVELY CONTROL SOIL EROSION.
- 3. SEDIMENT SHOULD BE REMOVED AND DISPOSED OF PROPERLY WHEN IT REACHES ONE-THIRD TO ONE-HALF THE HEIGHT OF THE STRAW BALE OR SILT FENCE AND PRIOR TO THE FINAL REMOVAL OF THE CONTROL.
- 4. INSPECTION OF THE EROSION CONTROL MEASURE SHALL BE MADE AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND AFTER A HALF-INCH RAIN EVENT AS PROVIDED IN PART VII OF THE SWPPP.
- 5. AREA INSIDE CONSTRUCTION LIMITS SHALL BE SEEDED AND GRASS ESTABLISHED BEFORE TEMPORARY SILT FENCE IS REMOVED.
- 6. CONTRACTOR SHALL PROVIDE A RAIN GAUGE ON-SITE. RAINFALL AMOUNTS SHALL BE MONITORED AND DOCUMENTED BY THE CONTRACTOR DAILY. REPORTS SHALL BE SUBMITTED TO THE ENGINEER.
- 7. THE CONTRACTOR SHALL DOCUMENT SITE CONDITIONS, THE CONDITION OF EROSION CONTROL ITEMS AND ACTIONS TAKEN TO MAINTAIN AND REPAIR EROSION CONTROL MEASURES. THE REPORT SHALL BE SUBMITTED TO THE ENGINEER ONCE COMPLETED.



PROFILE VIEW

SIDE ELEVATION

FRONT ELEVATION

**COARSE AGGREGATE** EXISTING GROUND PROVIDE APPROPRIATE TRANSITION BETWEEN STABILIZED CONSTRUCTION **ENTRANCE AND PUBLIC RIGHT OF WAY** 

**PLAN VIEW** 

STABILIZED CONSTRUCTION ENTRANCE

RIDGELAND, MS

<del>\* \* \* \* \*</del>

NOT TO SCALE

STILLWOOD BY RESIDENTIAL DEVELOPMENT

TEMPORARY EROSION CONTROL DETAILS

PATH: I:\Land Projects\C-219-01-45\dwg\temp erosion details.DWG

MENDROP~WAGES

834 WILSON DRIVE SUITE A

RIDGELAND, MS 39157 FAX (601) 899-5110

DRAWN BY: JBB SHEET NO. CHECKED BY: S. MURRAY SCALE: NOT TO SCALE

DATE DESCRIPTION

**REVISIONS** 

NO.

TEL (601) 899-5158 DATE: MAY 2006

PROJECT NO.: C-219-01-45

	SUMMARY OF QUANT		.5	
PAY ITEM NO.	PAY ITEM	UNITS	PRELIMINARY	FINAL
	**** EARTHWORK ITEMS ****			
02101-1	DEMOLITION OF EXISTING STRUCTRUES	LS	1	
02101-2	REMOVAL OF ASPHALT PAVEMENT (ALL THICKNESSES)	SY	1740	·····
02111-1	CLEARING AND GRUBBING	AC	4.5	<del></del>
02200-1	UNCLASSIFIED EXCAVATION (PM)	CY	1200	
02270-1	SEEDING, FERTILIZING, AND MULCHING (PM)	AC	4.7	
	**** EROSION CONTROL ITEMS ****			
02540-1	TEMPORARY SILT FENCE	LF	1520	
	**** ROADWAY AND DRAINAGE ITEMS ****			
02274-1	RIP-RAP (SIZE 100 LB.) W/ TYPE V GEOTEXTILE FABRIC	TONS	10	
02500-1	18" CORRUGATED METAL PIPE	LF	70	
02500-2	12" CORRUGATED METAL PIPE	LF	45	
02602-1	GRANULAR MATERIAL (FINAL MEASURE) (OPTION #1)	CY	700	
02612-1	HOT BITUMINUOUS SURFACE COURSE (3"-SC-1)(OPTION #1)	TON	450	
02612-1	HOT BITUMINUOUS SURFACE COURSE (2"-SC-1)(OPTION #2)	TON	300	
02612-2	HOT BITUMINUOUS BASE COURSE (4"-BB-1)(OPTION #2)	TON	600	
02619-1	STANDARD ROAD SIGN	EA	2	
02700-1	LIME (6% BY WEIGHT)	TON	890	
02700-2	8" SOIL-LIME-WATER MIXING, CLASS C	SY	2,588	
	**** WATER ITEMS ****		1000	
04100-1	6" PVC WATER MAIN (C-900, CL 150)	<u>LF</u>	1080	
04100-2	FIRE HYDRANT ASSEMBLY WITH GATE VALVE	<u>EA</u>	2	
04100-3	WATER SERVICE CONNECTIONS	<u>EA</u>	8	
04100-4	DUCTILE IRON FITTINGS	LB	600	
04100-5	TIE TO EXISTING WATER MAIN	EA_	1 1	
04100-6	FLUSHING HYDRANT ASSEMBLY WITH GATE VALVE	<u>EA</u>	2	
04100-7	6" GATE VALVE	<u>EA</u>	3	
04100-8	12" PVC CASING (OPEN CUT)	LF	30	
	**** SEWER ITEMS ****			
05100-1	8" PVC GRAVITY SEWER MAIN (SDR-26) (6'-10' CUT)	LF	321	
05100-2	8" PVC GRAVITY SEWER MAIN (SDR-26) (10'-14' CUT)		398	
05100-3	8" PVC GRAVITY SEWER MAIN (SDR-26) (14'-18' CUT)	LF	286	
05100-4	PRECAST CONCRETE MANHOLE (6'-10' CUT)	EA	2	
05100-5	PRECAST CONCRETE MANHOLE (10'-14' CUT)	EA	2	
05100-6	PRECAST CONCRETE MANHOLE (14'-18' CUT)	EA	2	
05100-7	BEDDING MATERIAL	CY	42	
05100-8	6" PVC SANITARY SEWER SERVICE (SDR-26)	LF	271	
05100-9	TIE TO EXISTING MANHOLE	EA	1	

## **LEGEND**

<del></del>	SUBDIVISION BOUNDARY
	PROPOSED LOT LINE
	EASEMENT LINE
	SETBACK LINE
	RIGHT-OF-WAY
8"SS SS8	EX. SEWER MAIN (WITH SIZE)
6"W M9	EX. WATER MAIN (WITH SIZE)
(S)	EXISTING MAN HOLES
0	LOT CORNER
w∨ ⊠	WATER VALVE
w <sub>M</sub>	WATER METER
$\stackrel{\sim}{\sim}$	EXISTING FIRE HYDRANT
——≽	WATER SERVICE
σ	SEWER SERVICE
0	SUBDIVISION CORNER - SET 4" X 4" X 30" CONCRETE POST WITH 1/2" REBAR
•	FOUND IRON ROD

## **GENERAL NOTES**

- 1. A 15 FOOT WIDE UTILITY EASEMENT IS REQUIRED ON ALL STREET FRONTAGE.
- ELECTRICAL POWER WILL BE PROVIDED BY ENTERGY.
- 3. PROPERTY SHOWN IS LOCATED IN FLOOD ZONE "X" AS PER FIRM MAP NUMBER 28089D0320 D. ZONE "X" IS DESIGNATED ON SAID FIRM MAP AS "AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN". EFFECTIVE DATE OF COUNTYWIDE FIRM
- 4. TOTAL AREA OF PROPOSED STILLWOOD SUBJECT PROPERTY IS 10.19 ACRES...
- 5. ALL TOPOGRAPHIC INFORMATION AROUND THE PERIMETER OF THE SUBJECT PROPERTY IS BASED ON A BOUNDARY SURVEY OF THE SUBJECT PROPERTY PERFORMED BY MENDROP~WAGES, LLC ON MARCH 15, 2005.
- 6. PROPERTY IS ZONED R-2 (RESIDENTIAL), CITY OF RIDGELAND.
- 7. ALL TOPOGRAPHIC INFORMATION WAS PROVIDED BY MENDROP~WAGES, LLC.
- 8. PROPOSED SUBDIVISION TO BE GATED AND STREETS TO BE PRIVATE.

## **EROSION CONTROL NOTES**

- 1. Contractor shall adhere to the erosion control requirements of the Storm Water Pollution Prevention Plan approved by the Mississippi Department of Environmental Quality.
- 2. Contractor shall inspect and monitor erosion control measures at least once every seven calendar days and also after any rainfall event greater than the two year 24 hour storm event (4.4 inches for Madison County). Any deficient erosion control measures shall be immediately replaced.
- 3. All topsoil within the access road construction limits shall be stripped, stockpiled, and grassed in a designated area to be approved by the Engineer, and replaced on slopes or as directed by the Engineer. All costs associated with stripping, stockpiling and replacement of topsoil shall be absorbed by the Contractor. Upon completion of grading, the Contractor shall place a sufficient quantity of topsoil (minimum of 4") to insure grass growth on the designated area. Any excess topsoil shall remain stockpiled for future use by the Owner. The Contractor is prohibited from stockpiling topsoil or any other material in streams, ditches, rivers, or other drainage courses.
- 4. Sediment runoff on any area disturbed by the Contractor will be controlled at all times. The Contractor will be responsible for the maintenance of erosion control measures used to control sediment runoff.
- 5. Contractor shall seed, fertilize, and mulch all areas disturbed by construction activities and insure a complete stand of grass prior to final acceptance of project.
- 6. During construction, detention basins shall serve as sediment basins. All sediment accumulation shall be removed and disposed of by the Contractor prior to completing detention basin construction. Diversion berms shall be leveled and
- 7. Temporary perforated pipe and elbow with trash rack shall be installed in the silt basin and shall remain until construction is complete. Pipe and elbow shall be replaced with a concrete riser structure once all disturbed areas are grassed.
- 8. Erosion control measures may be added or removed at the Engineer's discretion as field conditions warrant.
- 9. Erosion control measures are shown in areas to be disturbed by the developer during construction of infrastructure improvements. Individual lot owners shall be responsible for erosion control measures on their respective lots during residential construction.

## SEWER NOTES

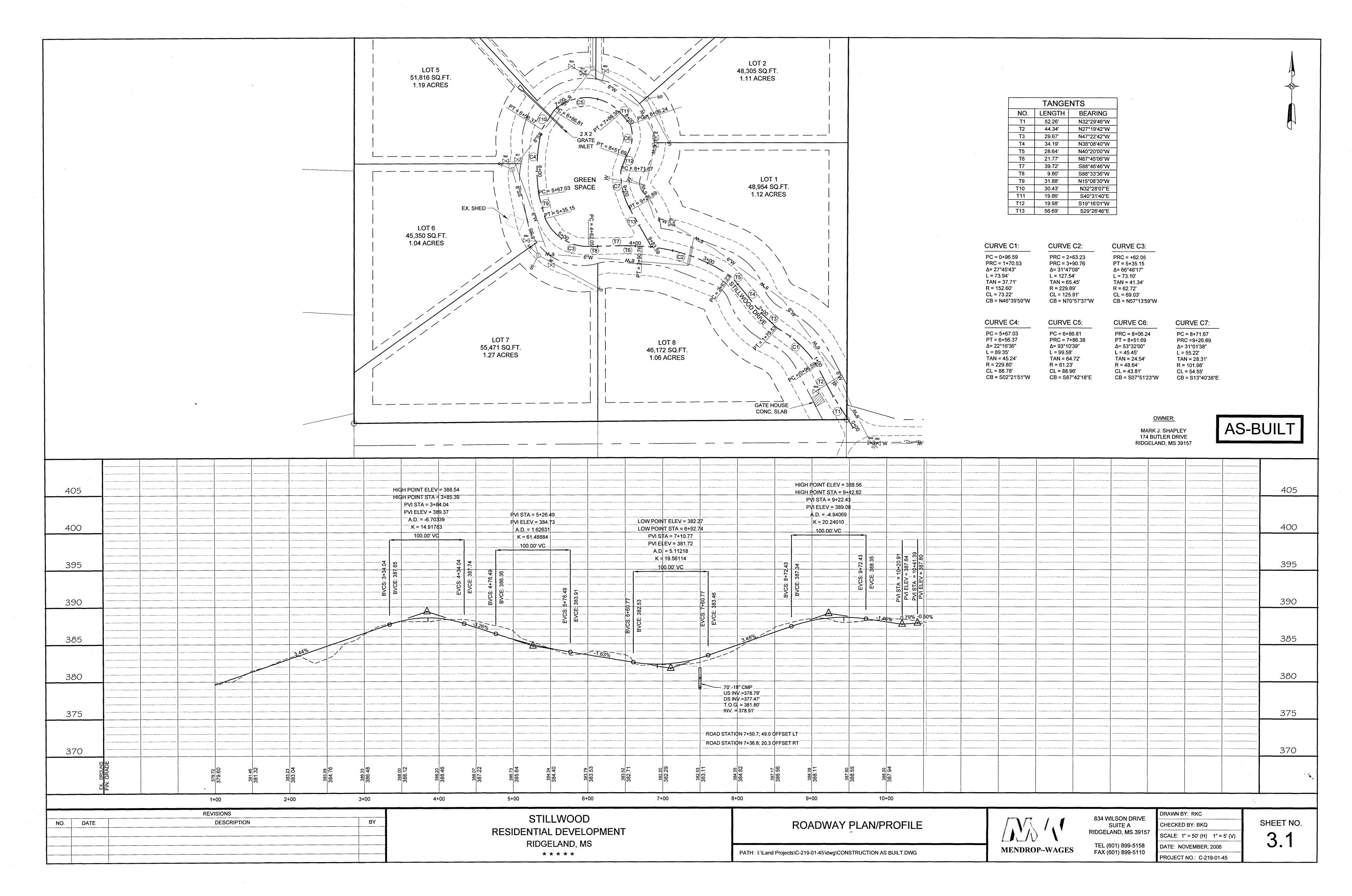
- 1. The Contractor shall verify the location of existing utilities on the project site, and shall promptly repair those which are damaged by his construction operations. Before digging, contractor shall contact Mississippi One-Call at 1-800-227-6477.
- 2. Construction and materials for the sanitary sewer system shall conform to the specifications of the Mississippi Department of Environmental Quality and the City of Ridgeland, whichever is more restrictive.
- 3. Contractor shall provide all necessary fittings and appurtenances necessary for complete installation, whether specifically indicated or not.
- 4. Contractor shall provide a minimum 24 hour notice to the engineer prior to commencing any construction operations, sampling, or testing.
- 5. Contractor shall provide adequate traffic control (flagmen, cones, barricades, etc.) when working within public road right-of-way.
- 6. Sewer services shall be 6" PVC SDR-26.
- 7. Items to be constructed on the sewer main lines (i.e. manholes, valves, fittings, wyes, clean-outs, etc.) are shown for general location only and may be slightly moved to accommodate construction requirements upon the engineer's written approval. All above ground appurtenances are to be placed in areas that will not be paved.
- 8. Contractor shall seed and fertilize all areas disturbed by sewer construction activities and insure a complete stand of grass.
- 9. Sewer service provided by City of Ridgeland.
- 10. The Contractor shall furnish, place, and maintain all sheeting, shoring, and bracing required to support the sides of the required trench excavations. The Contractor shall be responsible for the sufficiency of any such supports to prevent any movement which can in any way damage or delay the work; endanger or cause damage to adjacent pavements, buildings, or other structures; or create undue hazards to workmen.

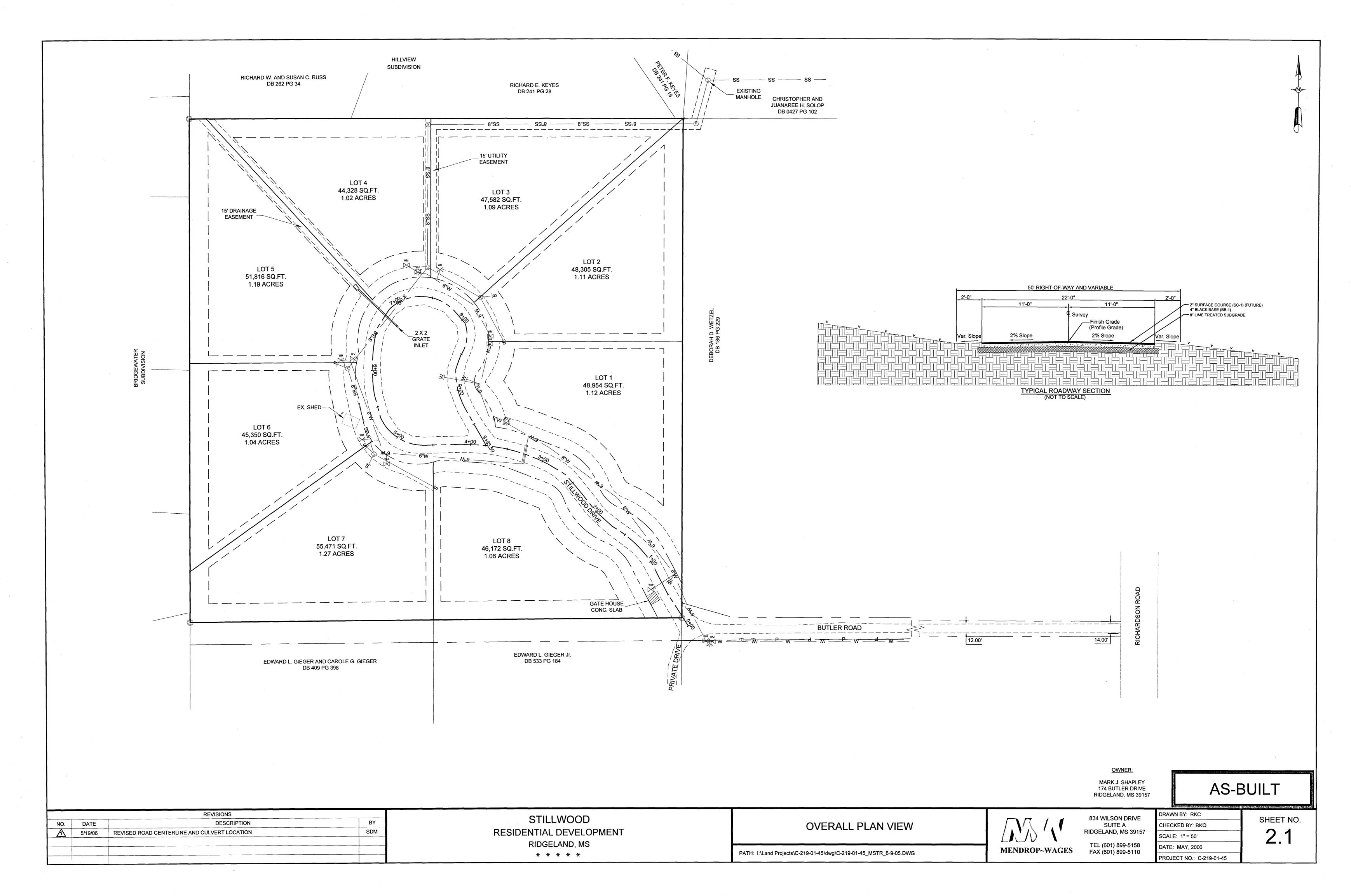
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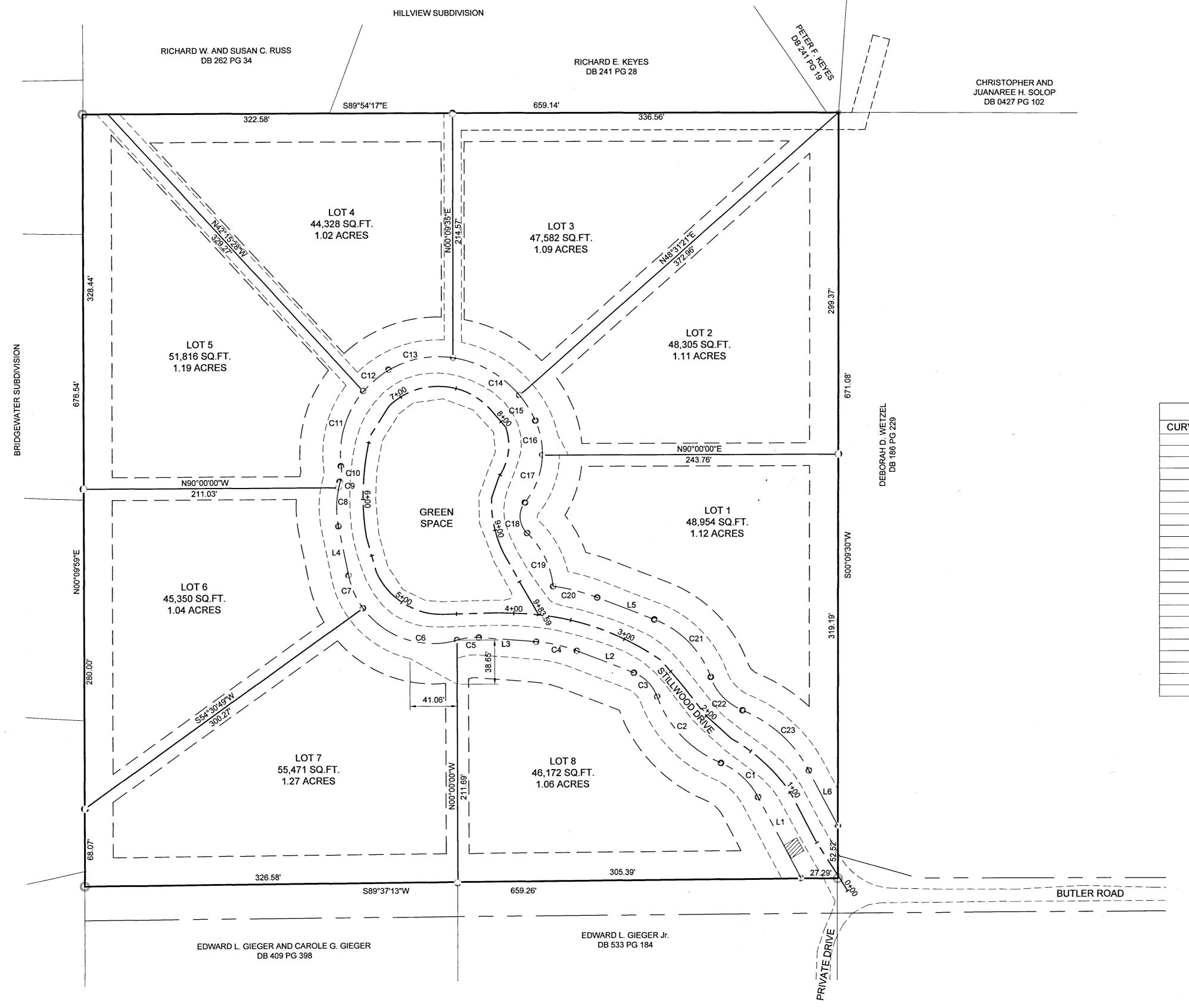
FAX (601) 899-5110

PROJECT NO.: C-219-01-45









LINE TABLE			
LINE	LENGTH	BEARING	
L1	80.45'	N27°38'12"W	
L2	53.48'	N68°46'42"W	
L3	50.03'	N85°33'05"W	
L4	43.97'	N11°23'21"W	
L5	53.48'	S68°46'42"E	
L6	54.66'	S27°38'12"E	

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	BEARING
C1	45.18'	65.00'	39°49'36"	44.28'	N47°33'00"W
C2	83.31'	100.00'	47°44'02"	80.92'	N43°35'47"W
C3	29.96'	35.00'	49°02'56"	29.06'	N44°15'14"W
C4	36.59'	125.00'	16°46'23"	36.46'	N77°09'54"W
C5	18.51'	50.00'	21°12'28"	18.40'	S83°50'41"W
C6	124.84'	75.00'	95°22'12"	110.92'	N59°04'27"W
C7	31.53'	75.00'	24°05'25"	31.30'	N23°26'03"W
C8	34.12'	85.00'	23°00'00"	33.90'	N00°51'31"E
C9	5.02'	85.00'	03°39'89"	5.02'	N13°34'23"E
C10	13.70'	35.00'	22°25'47"	13.61'	N04°02'53"E
C11	70.78'	85.00'	47°42'30"	68.75'	N16°41'15"E
C12	29.26'	85.00'	19°27'36"	29.12'	N50°08'24"E
C13	57.71'	85.00'	38°54'03"	56.61'	N79°27'08"E
C14	67.93'	95.00'	41°20'50"	66.49'	S60°14'06"E
C15	26.21'	95.00'	15°48'19"	26.13'	S31°50'57"E
C16	31.00'	70.00'	25°22'16"	30.74'	S11°15'33"E
C17	45.18'	70.00¹	36°58'43"	44.40'	S19°54'57"W
C18	29.40'	20.00'	84°12'43"	26.82'	S03°42'03"E
C19	52.91'	75.00'	40°25'13"	51.82'	S25°35'49"E
C20	40.15'	175.00'	13°08'49"	40.07'	S75°21'07"E
C21	72.77'	85.00'	49°02'56"	70.56'	S44°15'14"E
C22	41.66'	50.00'	47°44'02"	40.46'	S43°35'47"E
C23	79.94'	115.00'	39°49'39"	78.34'	S47°33'00"E

OWNER: MARK J. SHAPLEY 174 BUTLER DRIVE RIDGELAND, MS 39157

AS-BUILT

REVISIONS			
NO.	DATE	BY	

STILLWOOD
RESIDENTIAL DEVELOPMENT
RIDGELAND, MS
\* \* \* \* \*

LOT LAYOUT

PATH: I:\Land Projects\C-219-01-45\dwg\CONSTRUCTION AS BUILT.DWG

MENDROP~WAGES

834 WILSON DRIVE SUITE A RIDGELAND, MS 39157 TEL (601) 899-5158 FAX (601) 899-5110 DRAWN BY: RKC

CHECKED BY: BKQ

SCALE: 1" = 50'

DATE: NOVEMBER, 2006

PROJECT NO.: C-219-01-45

SHEET NO. **2.2** 

