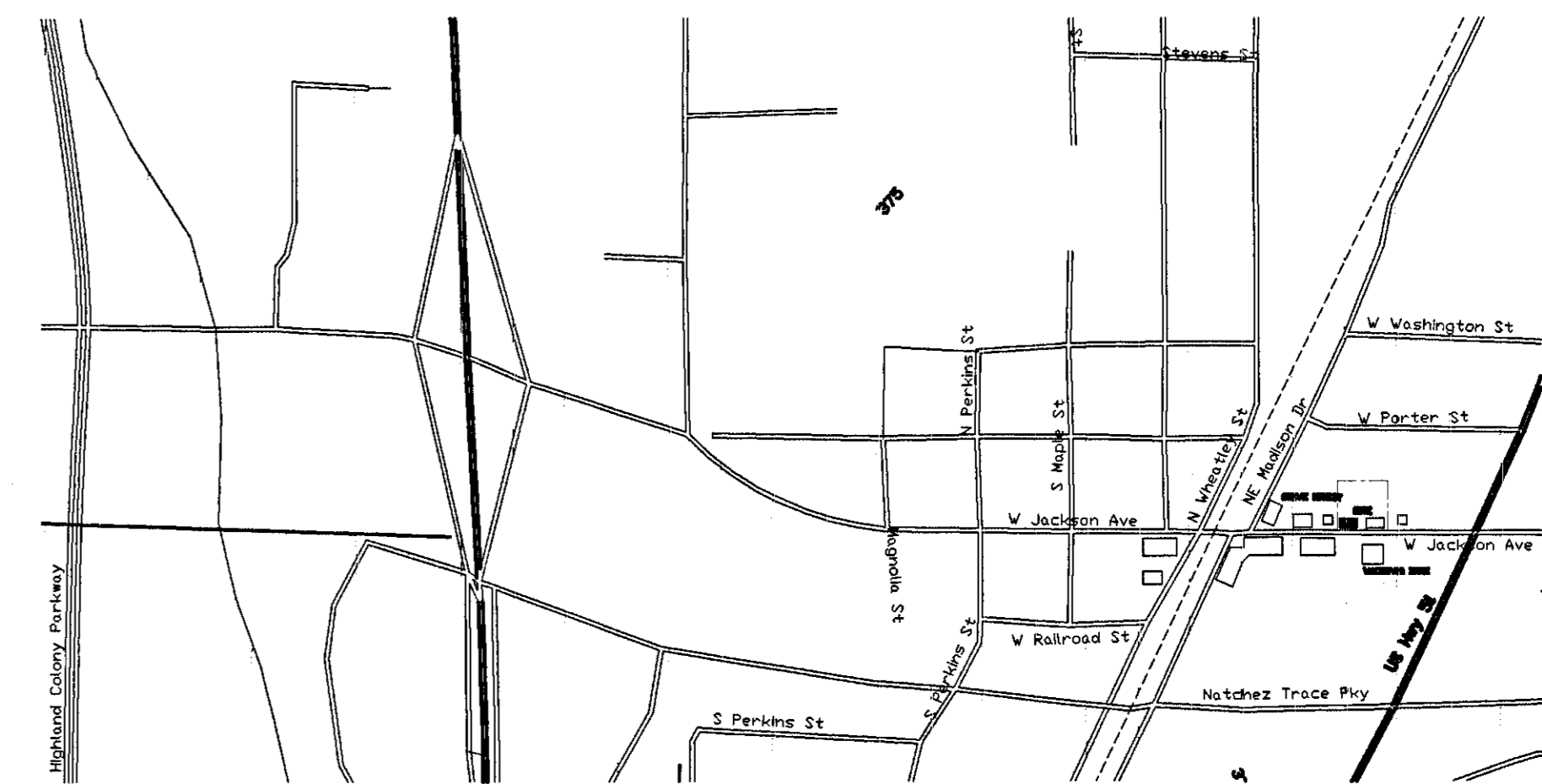
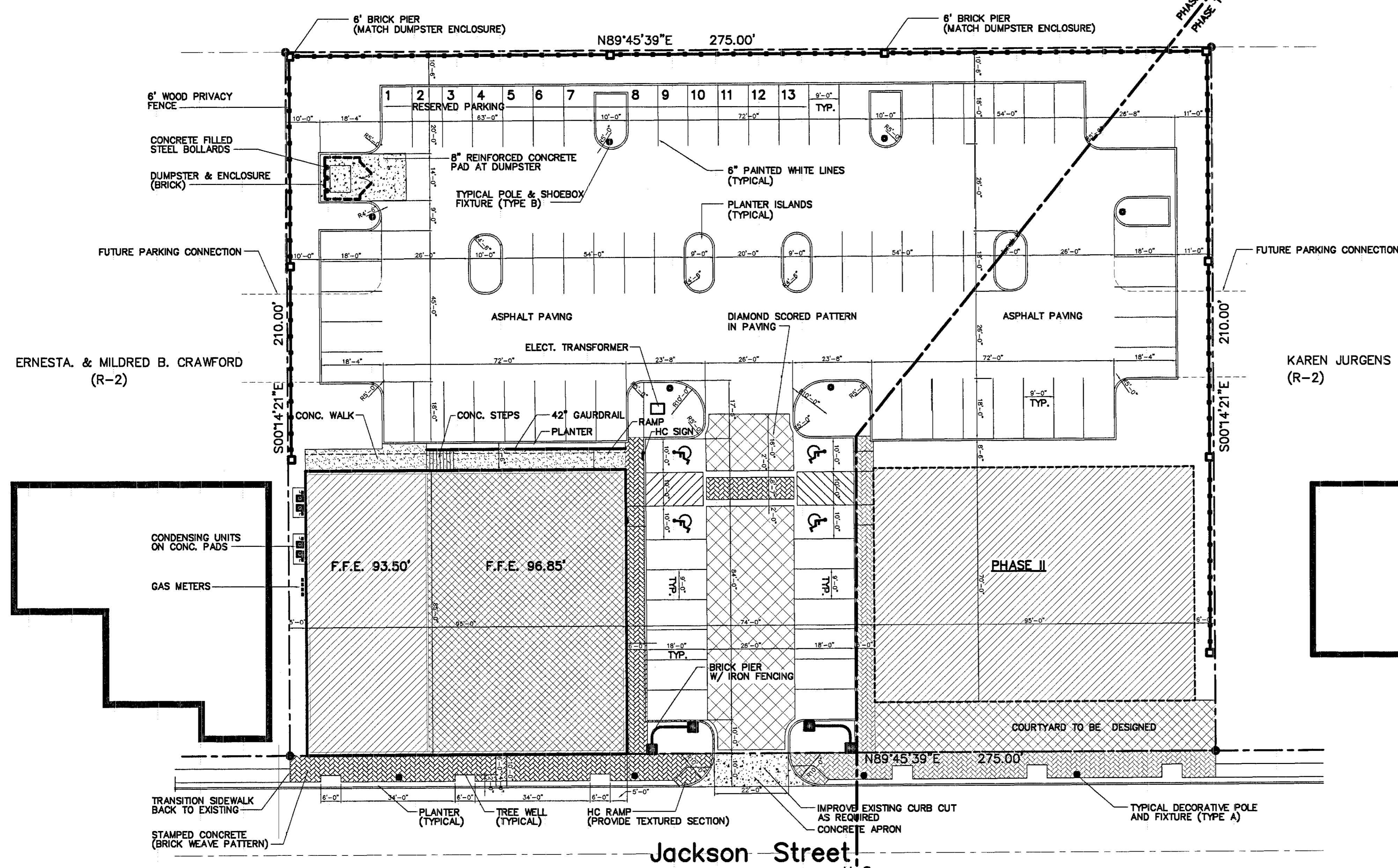


WILROY & ESTA BRYANT (R-2)

KAREN JURGENS KNIGHT (R-2)



VICINITY MAP SCALE: 1000:1



SITE PLAN SCALE: 1"=20'-0"

JACKSON STREET OVERLAY DISTRICT  
 ZONING C-2

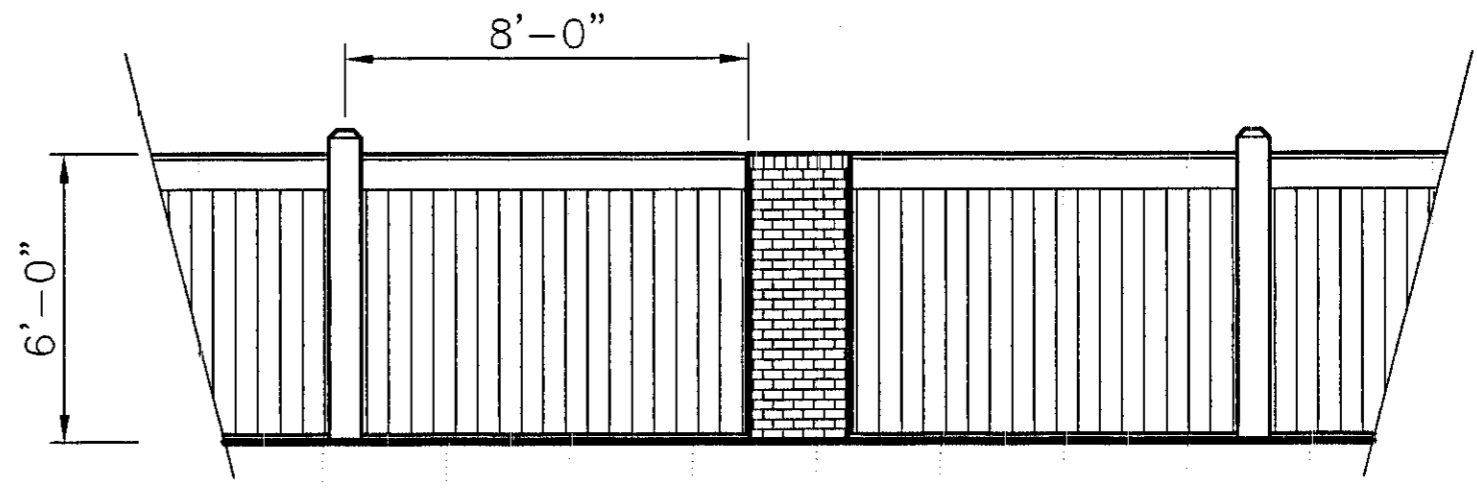
SITE AREA 57,750 SF. (1.33 AC.)  
 BUILDING SQUARE FOOTAGE (PHASE ONE) 8,000 SF.  
 LOT COVERAGE 13%  
 BUILDIGN USAGE RETAIL

PHASE ONE PARKING CALCULATIONS  
 8,000SF / 200SF = 40 SPACES X 60% = 24 SPACES REQUIRED

PHASE TWO PARKING CALCULATIONS  
 8,000SF / 200SF = 40 SPACES X 60% = 24 SPACES REQUIRED

TOTAL REQUIRED PARKING 48 SPACES  
 TOTAL PARKING PROVIDED 75 SPACES

- TYPICAL DECORATIVE POLE AND FIXTURE (TYPE A) FOUR REQUIRED
- TYPICAL POLE & SHOEBOX FIXTURE (TYPE B) SIX REQUIRED



FENCE DETAIL SCALE: 1/4"=1'-0"

REVISIONS	BY

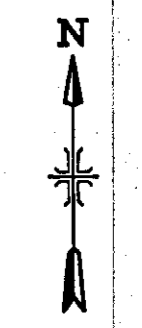
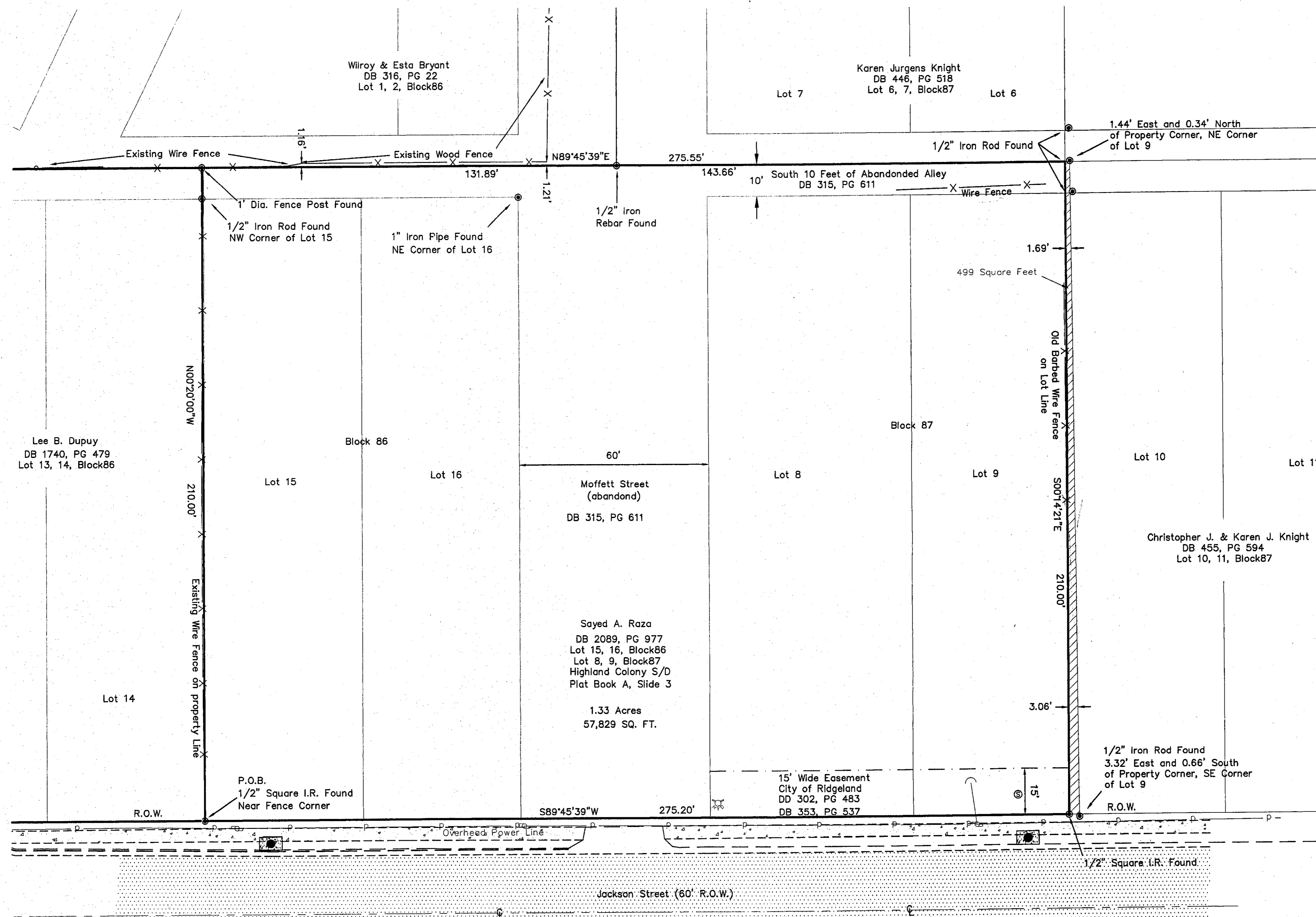
**W**

WOOLDRIDGE & ASSOCIATES  
 105 CENTRAL AVENUE  
 RIDGELAND, MS 39157  
 601-855-8161 / 601-855-4386 FAX

**Olde Trace Market**  
 Jackson Street Overlay District  
 Ridgeland, MS

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	DRAWN
	CHECKED
	DATE
	SCALE
	JOB NO.
	SHEET



**LEGEND**

—	GUY WIRE	□	STORM INLET
—	WATER METER	⊙	SEWER MANHOLE
⊙	WATER FAUCET	⊕	CURB INLET
⊕	UTILITY POLE	—	OVERHEAD POWER
⊕	FIRE HYDRANT	⊕	WATER VALVE
⊕	ELECTRIC MANHOLE	⊕	1/2" IRON REBAR FOUND
⊕	TELEPHONE PEDESTAL	⊕	1/2" IRON REBAR SET
—	SIGN	(spa)	AS PER SURVEY
⊕	LIGHT POLE	(spr)	AS PER RECORD
⊕	SEWER CLEANOUT		
—	CONCRETE CURB		
⊕	GAS METER		

Date:	
By:	
Revisions:	
No.	

Project No.:	# JAXNST
Date:	11/03/2008
Scale:	1" = 20'
Designed By:	CLB
Reviewed By:	PCF

Project No.:	# JAXNST
Date:	11/03/2008
Scale:	1" = 20'
Designed By:	CLB
Reviewed By:	PCF

BOUNDARY SURVEY  
 JACKSON STREET PROPERTY  
 RIDGELAND, MISSISSIPPI

Date of field survey: October 30, 2008.

Class "B" survey in accordance with the minimum standards for land surveying in the State of Mississippi.

This property may be subject to recorded or unrecorded easements, rights-of-way or other encumbrances which are not evident to the surveyor, but which would be revealed by a title search performed by a competent attorney.

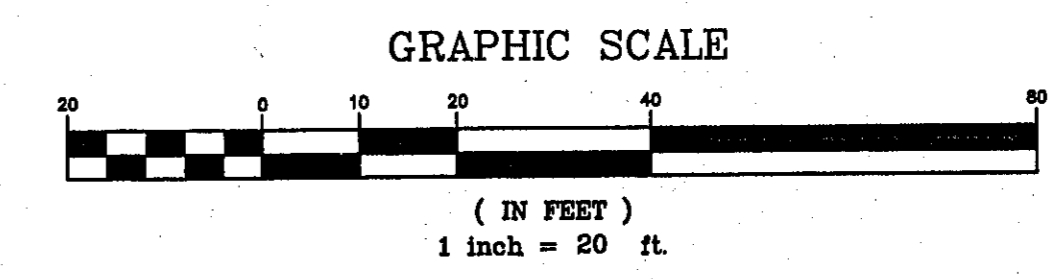
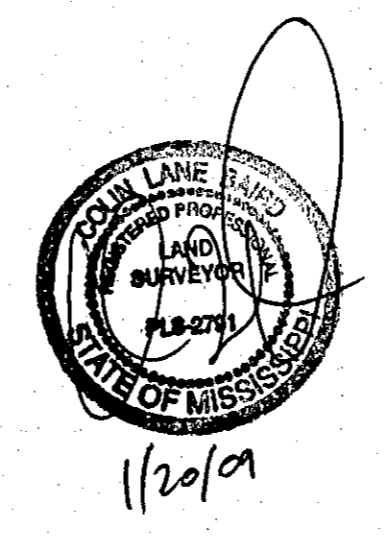
Reference Bearing taken from solar observation.

Subsurface and environmental conditions were not examined or considered as a part of this survey.

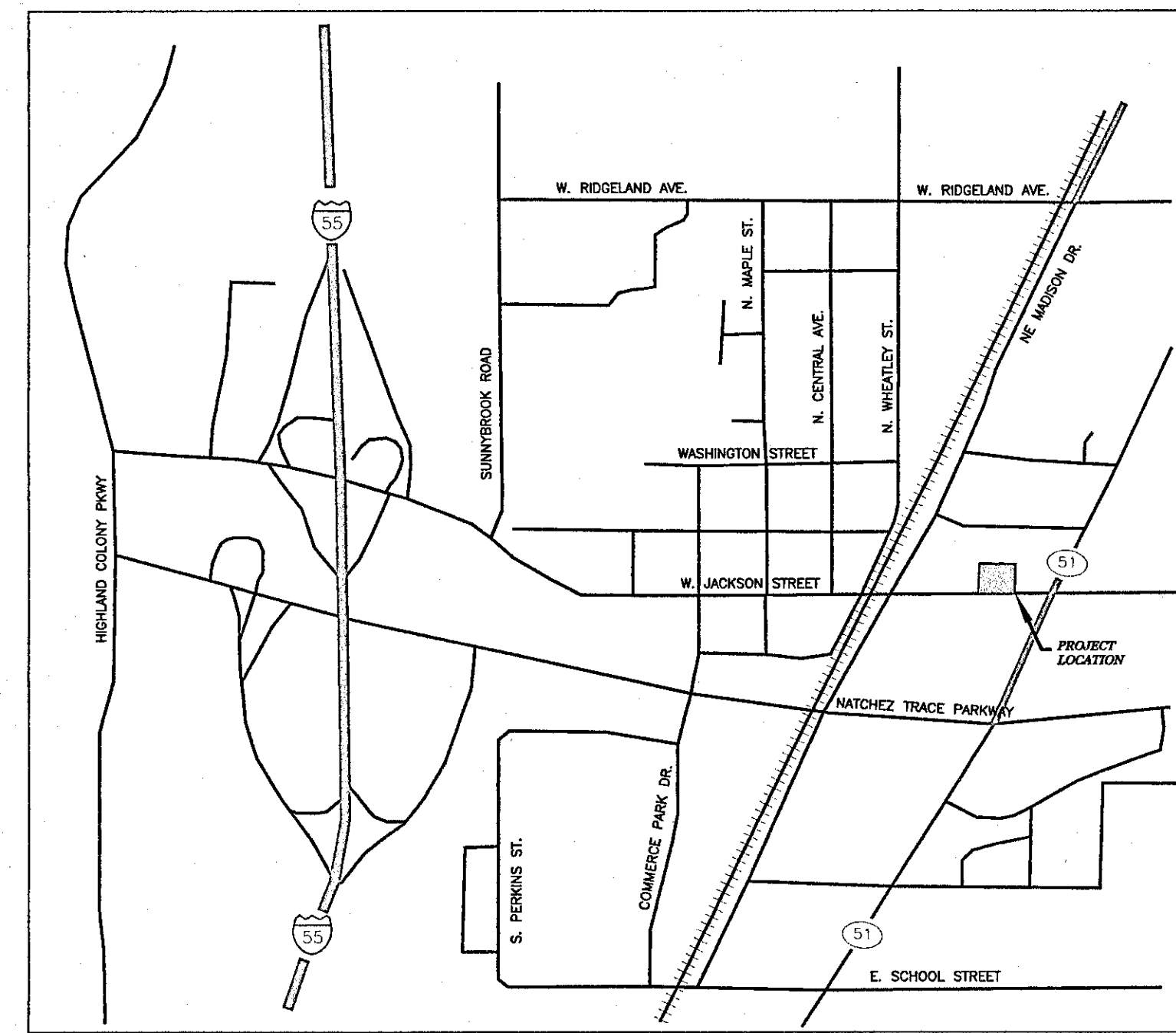
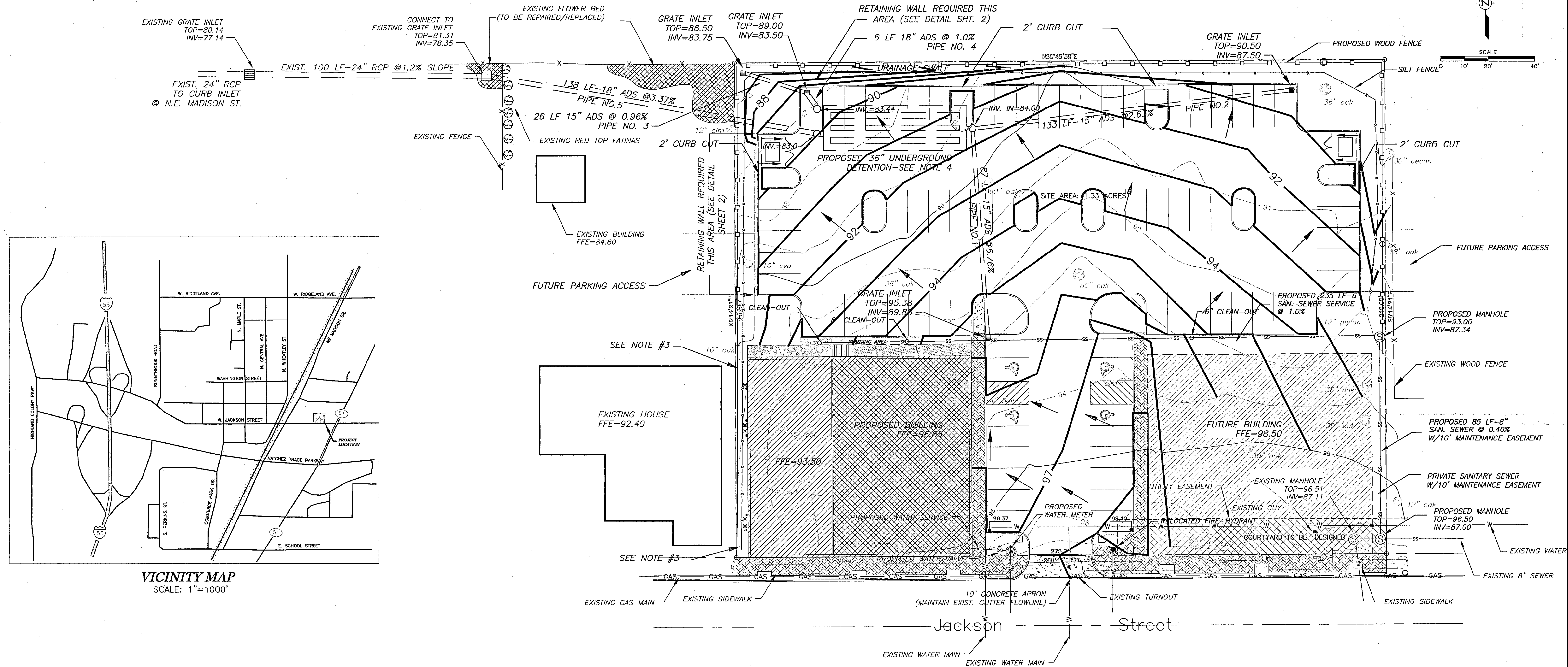
This boundary survey was performed and this plat was prepared by Colin L. Baird, PLS  
 222 Highway 80 East, Suite D, Clinton, MS 39056  
 Phone: (601) 278-5548

This survey is considered valid only when original seal and signature of surveyor of record is affixed hereto.

I, Colin L. Baird, do hereby certify that the features depicted on this plat are a correct representation of the conditions as they existed on November 3, 2008.







VICINITY MAP  
SCALE: 1"=1000'

**STORMWATER RUNOFF CALCULATIONS**

PRE-DEVELOPMENT:  
 TOTAL AREA = 1.33 AC  
 GREEN AREA = 1.33 AC  
 IMPERVIOUS AREA = 0.0 AC  
 C GREEN = 0.64  
 C IMPERVIOUS = 0.93  
 WEIGHTED C = 0.64  
 SLOPE = 4.0%  
 T = 9.10 MINUTES  
 MDOT CURVE REGION II; 100 YR. FREQ.; i = 11.54 in/hr  
 Q = CIA = 9.82 cfs

POST-DEVELOPMENT:  
 TOTAL AREA = 1.33 AC  
 GREEN AREA = 0.22 AC  
 IMPERVIOUS AREA = 1.11 AC  
 C GREEN = 0.64  
 C IMPERVIOUS = 0.93  
 WEIGHTED C = 0.88  
 SLOPE = 4.0%  
 T = 4.81 MINUTES  
 MDOT CURVE REGION II; 100 YR. FREQ.; i = 13.76 in/hr  
 Q = CIA = 16.10 cfs

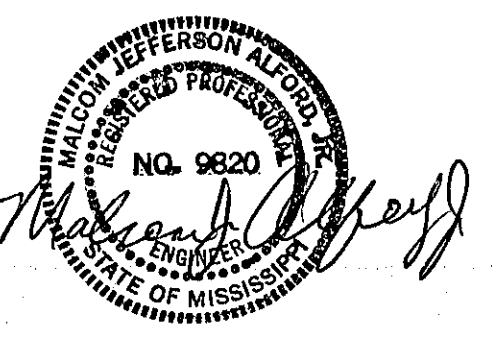
Q POST - Q PRE = 6.28 CFS  
 (6.28 CFS)(4.61 MIN)(60 SEC)=1737 CF DETENTION REQUIRED  
 1797 CF UNDERGROUND DETENTION PROVIDED IN ADS/HANCOR 36" SYSTEM

GENERAL NOTES: STORM FREQUENCY = 100 YRS.  
 $T_c = (10L^{0.37}) / ((177C)(S^{0.21}))$

**STORMWATER PIPE HYDRAULICS**

PIPE NO.	SIZE	Q MAX.(CFS)	V MAX.(FPS)
1	87 LF-15 ADS @ 6.76%	18.20	14.83
2	133 LF-15 ADS @ 0.96%	11.35	9.25
3	26 LF-15 ADS @ 0.96%	6.86	5.59
4	6 LF-18 ADS @ 1.0%	11.38	6.44
5	138 LF-18 ADS @ 3.37%	20.89	11.82

- NOTES:
- EXISTING TREES, SHRUBS OR FLOWER BEDS SHOWN SHALL BE REPAIRED OR REPLACED AND LANDSCAPED TO OWNERS SATISFACTION. GRASS SHALL BE REPLACED WITH SOD OF SAME TYPE. CARE SHALL BE TAKEN TO MINIMIZE DAMAGE TO EXISTING RED TOP FATINAS SHOWN.
  - HANDICAP RAMPS SHALL BE PER CITY OF RIDGELAND STANDARDS.
  - AREAS BETWEEN PROPOSED BUILDING/PARKING AND PROPERTY LINE SHALL BE CONNECTED TO EXISTING GRADES AT PROPERTY LINE. DROP DOWN FOUNDATION REQUIRED THIS AREA OF PROPOSED BUILDING.
  - UNDERGROUND DETENTION PER ADS/HANCOR CONSTRUCTION DRAWINGS AND DETAILS.
  - GRATE INLETS SHALL BE 24"x24" HEAVY DUTY TRAFFIC GRADE WITH CAST IRON GRATES.



**LEGEND**

- 98 ——— EXISTING CONTOURS
- 101 ——— PROPOSED CONTOURS
- W ——— EXISTING WATER MAIN
- X ——— EXISTING FENCE
- ⊙ ——— EXISTING TREE
- ⊙ ——— EXISTING MANHOLE
- X ——— DRAINAGE FLOW DIRECTION
- 97.23 ——— DESIGN SPOT ELEVATION
- ——— PROPOSED WOOD FENCE
- X ——— SILT FENCE

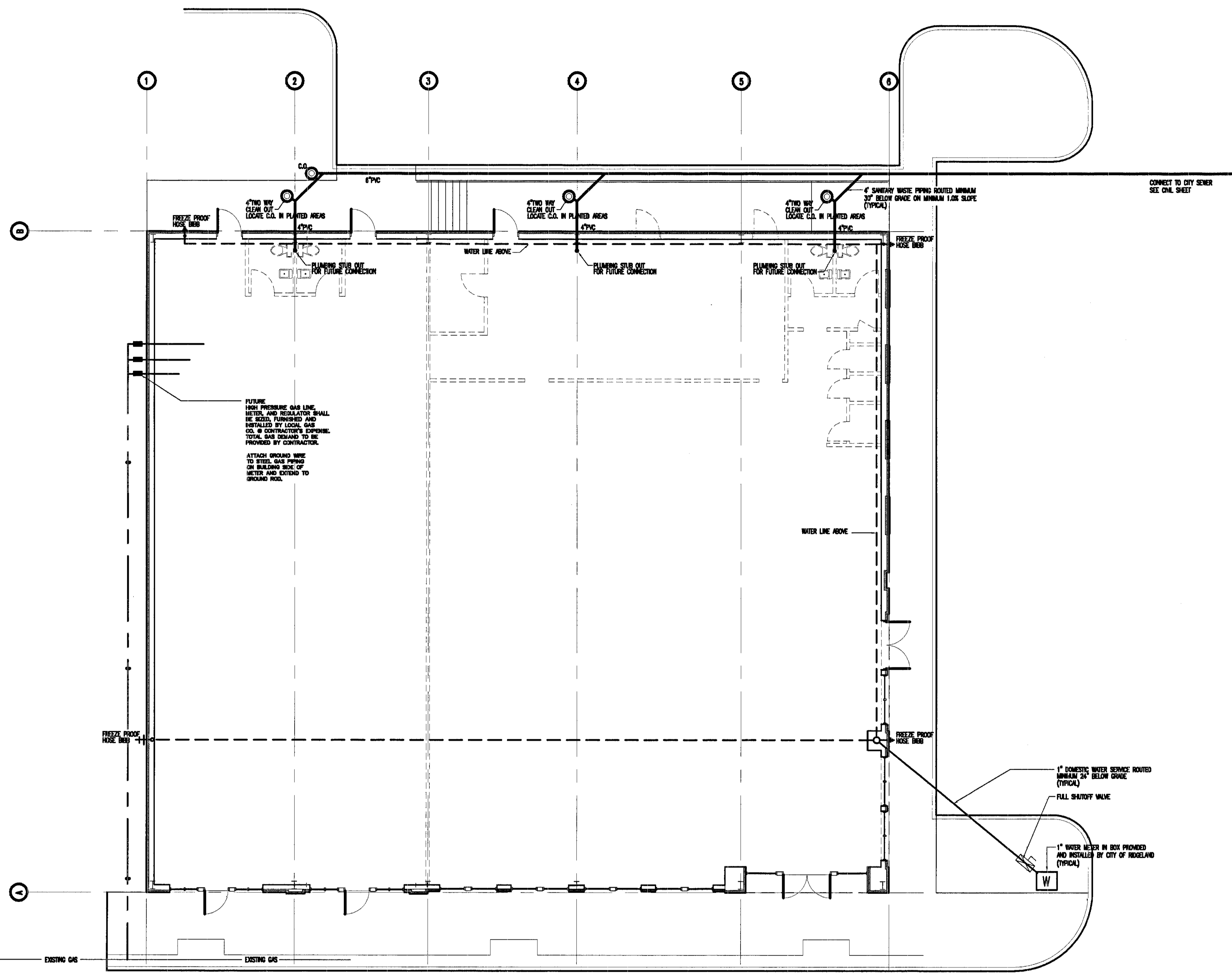
REV.	DESCRIPTION OF REVISION	BY	REVISION DATE
2	REVISIONS PER CITY	MJA	3/25/11
1	ADDED RETAINING WALL	MJA	1/14/09
0	ISSUED FOR REVIEW	MJA	12/1/08

SCALE: 1" = 20'  
 DRAWN: F. PHILLIPS  
 REVIEWED: M. ALFORD  
 PROJECT MANAGER: M. ALFORD  
 DATE: 12/1/08

**Alford and Associates**  
 Consulting Engineers  
 7112 Suite B Siwell Road  
 Byram, Mississippi 39272

PROJECT NAME	SITE LAYOUT	DRAWING
RAZH	OLDE TRACE MARKET RIDGELAND, MISSISSIPPI	1 of 2

Woodridge & Associates 6/15/2001 9:21 AM MAYDR&BOARD.dwg



**PLUMBING PLAN**  
SCALE: 1/8"=1'-0"

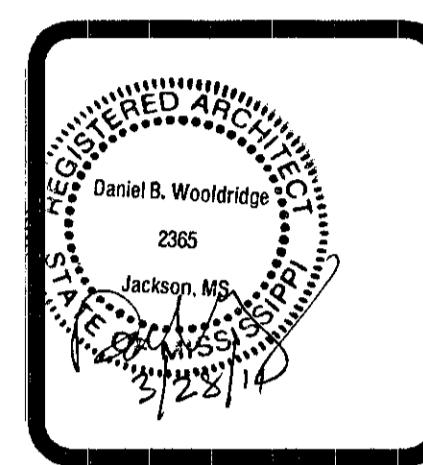
**PLUMBING SPECIFICATIONS:**

1. Furnish all labor, materials, equipment, fixtures and such other items required or necessary to accomplish all work specified herein and on the drawings.
2. All work performed and all materials used shall conform to the International Plumbing Code, (2006 Edition), International Building Code and all other applicable local codes, standards or regulations having jurisdiction.
3. All domestic water piping shall be Type "L" hard drawn copper with wrought copper sweat type fittings and 95/5 solder.
4. All waste and vent piping shall be polyvinyl chloride pipe (PVC), ASTM D2665, PVC type DWV fittings with solvent weld joints.
5. All domestic water piping above ground shall be covered with 1/2" thick fiberglass molded sectional pipe insulation with Universal all purpose jacket. Insulation shall be Knuf, Certainteed or Armstrong.
6. All domestic hot water piping below ground shall be covered with 1/2" thick foamed plastic tubing as manufactured by Knuf, Certainteed or Armstrong.
7. Provide all necessary pipe hangers and supports. Installation shall be in accordance with the Standard Plumbing Code. Provide pipe covering protection shields and saddles on all hangers supporting insulated pipings. Hangers shall be as manufactured by Grinnell, Elson, or Michigan Hanger Co., Inc.
8. Provide schedule 40 black steel pipe sleeves at all pipe penetrations through walls or floor. Sleeves shall be minimum 1" larger than outside dia. of pipe and
9. Install cleanouts where required for proper cleaning of drainage lines. Cleanouts serving drainage lines below slab on grade shall be brought up flush with finish floor. Cleanouts shall have a round polished bronze top and shall be as manufactured by J.R. Smith, Zurn, Wade or Josam.
10. All soil waste piping shall be tested in accordance with the International Plumbing Code (2006 edition).
11. Test domestic water piping by hydrostatic test with 150 PSI for eight hours with no perceptible pressure drop during test. Flush and sterilize piping in conformance with AWWA C-601 and to the satisfaction of local authorities having jurisdiction.

**PLUMBING GENERAL NOTES:**

1. COORDINATE ALL WORK WITH ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL TRADES. PIPE ROUTING SHOWN IS DIAGRAMMATIC, PROVIDE ALL OFFSETS, ETC., TO AVOID INTERFERENCES WITH EQUIPMENT, PIPING, DUCTWORK, LIGHTS, CONDUIT, ETC..
2. COORDINATE ALL FLOOR PENETRATIONS WITH STRUCTURAL DRAWINGS. SET SLEEVES IN FLOORS AND WALLS AND ATTACHMENTS FOR HANGERS AS CONSTRUCTION PROGRESSES. ALL PENETRATIONS MUST BE SEALED AND HELD AS TIGHT TO COLUMNS OR WALLS AS POSSIBLE.
3. RUN VENT PIPING CONCEALED ABOVE CEILINGS OR IN ATTIC SPACES UNLESS NOTED OTHERWISE ON DRAWINGS.
4. ALL PIPING SHALL BE SLOPED AS PER SPECIFICATIONS UNLESS NOTED OTHERWISE ON DRAWINGS.
5. CONTRACTOR SHALL EXTEND WATER, AND SANITARY SEWER PIPING TO UTILITIES OUTSIDE BUILDING. REFER TO SITE PLAN FOR CONTINUATION & LOCATION OF OUTSIDE UTILITIES.
6. WALL HYDRANTS SHALL BE MOUNTED 1'-6" ABOVE FINISHED FLOOR.
7. COORDINATE UNDERGROUND PIPING WITH GRADE BEAMS AND WALL FOOTINGS.
8. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF ALL PLUMBING FIXTURES. EXACT LOCATION OF ALL FIXTURES MUST BE VERIFIED IN THE FIELD PRIOR TO INSTALLATION. FINAL LOCATION SHALL BE AS DIRECTED BY ARCHITECT.
9. DO NOT RUN PLUMBING PIPING THROUGH ELECTRICAL ROOMS OR DIRECTLY ABOVE ELECTRICAL PANELS.
10. INSTALL WATER HAMMER ARRESTORS (PDI'S) ON DOMESTIC COLD & HOT WATER LINES AT EACH FIXTURE OR BATTERY OF FIXTURES AS INDICATED ON THE DRAWINGS & IN ACCORDANCE WITH THE STANDARD PLUMBING CODE. ARRESTORS SHALL BE INSTALLED IN AN ACCESSIBLE LOCATION. PROVIDE 14x14" ACCESS DOOR AT ALL ARRESTORS. ACCESS DOORS TO BE LOCATED SO THAT ARRESTORS ARE EASILY ACCESSIBLE FOR MAINTENANCE. ACCESS DOORS SHALL BE 16 GA. STEEL PRIMED AND PAINTED, CONCEALED HINGED ON ONE SIDE WITH KEYS CAM LOCK, COLOR AS SELECTED BY ARCHITECT.
11. PLUMBING VENTS EXTENDING THROUGH ROOF SHALL TERMINATE AT 1'-0" ABOVE ROOF AND AT A MINIMUM DISTANCE OF 12'-0" HORIZONTALLY FROM ANY AIR INTAKE OR OPERABLE WINDOW.

REVISIONS	BY



**WOODRIDGE & ASSOCIATES**  
573 Hwy. 51 N. Suite D  
RIDGELAND, MS 39157  
601-940-0480  
WOODRIDGEARCHITECTUREWVA.COM

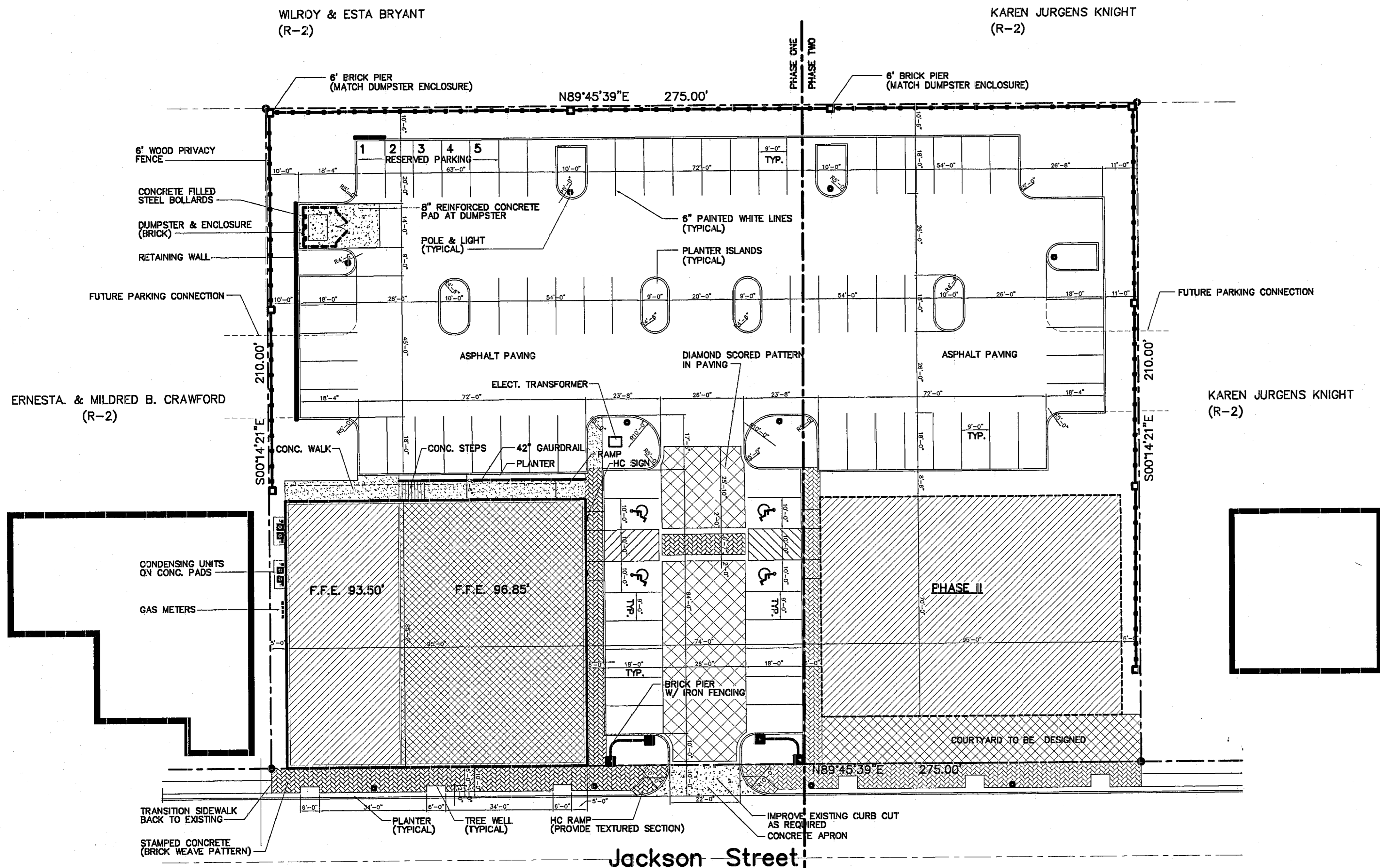
A New Building at  
**Trace Market**  
Jackson St., Ridgeland, MS

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DRAWN
CHECKED
DATE
<b>JANUARY 6, 2003</b>
SCALE
JOB NO.
SHEET
<b>P1.0</b>
OF SHEETS



Daniel Wooldridge, Wooldridge & Associates 10/17/2007 2:37 PM DR RAZA JACKSON STREET.dwg



**SITE PLAN**  
SCALE: 1"=20'-0"

JACKSON STREET OVERLAY DISTRICT  
ZONING C-2

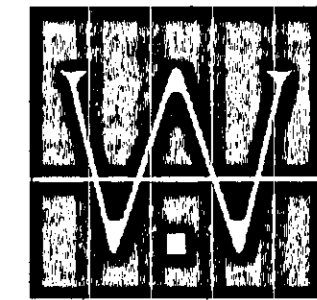
SITE AREA 57,750 SF. (1.33 AC.)  
BUILDING SQUARE FOOTAGE (PHASE ONE) 8,000 SF.  
LOT COVERAGE 13%  
BUILDIGN USAGE RETAIL

PHASE ONE PARKING CALCULATIONS  
8,000SF / 200SF = 40 SPACES X 60% = 24 SPACES REQUIRED

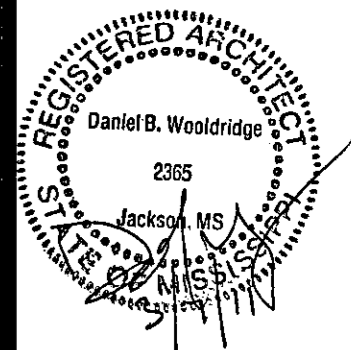
PHASE TWO PARKING CALCULATIONS  
8,000SF / 200SF = 40 SPACES X 60% = 24 SPACES REQUIRED

TOTAL REQUIRED PARKING 48 SPACES  
TOTAL PARKING PROVIDED 75 SPACES

REVISIONS	BY
March 7, 2011	DW



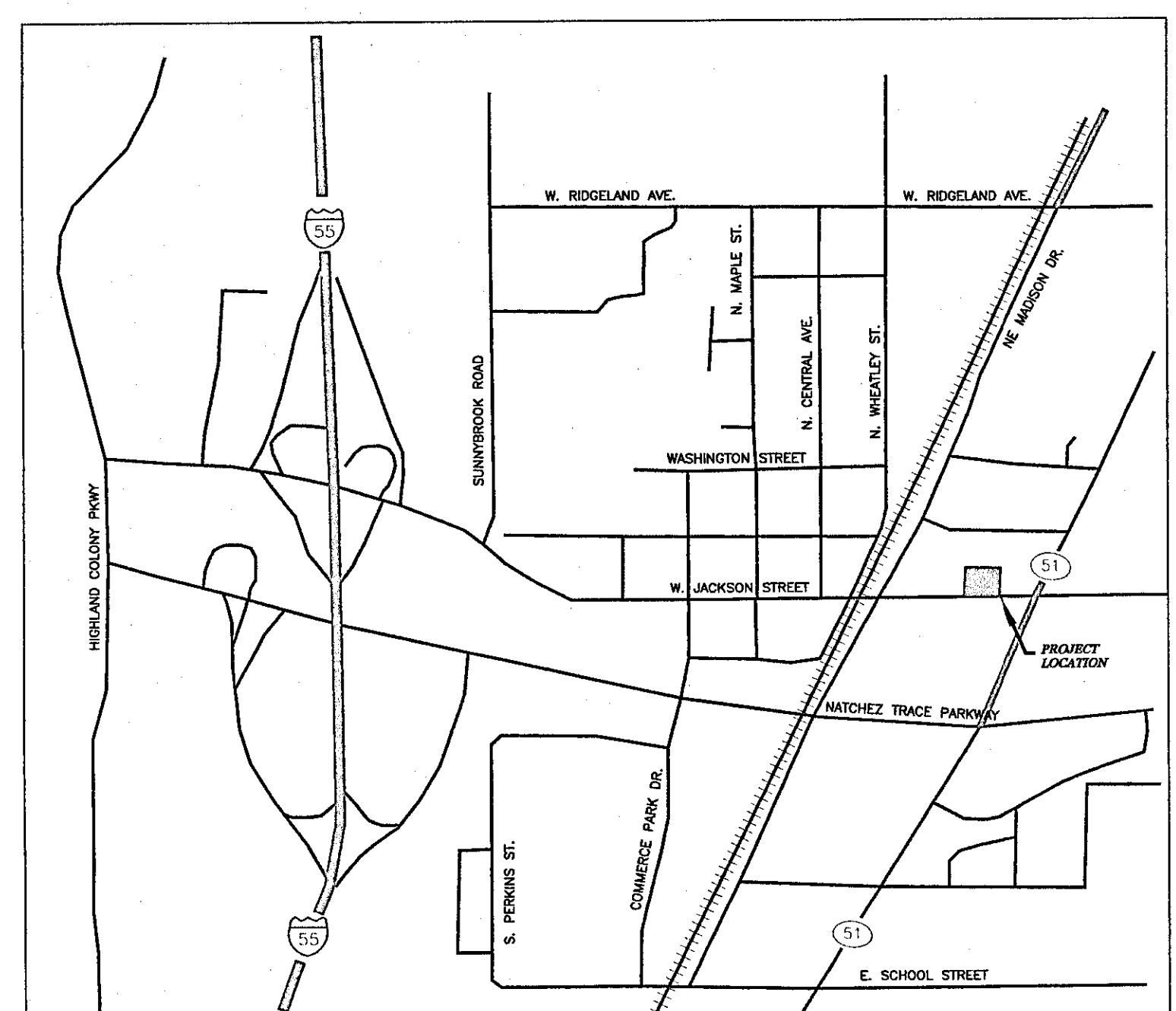
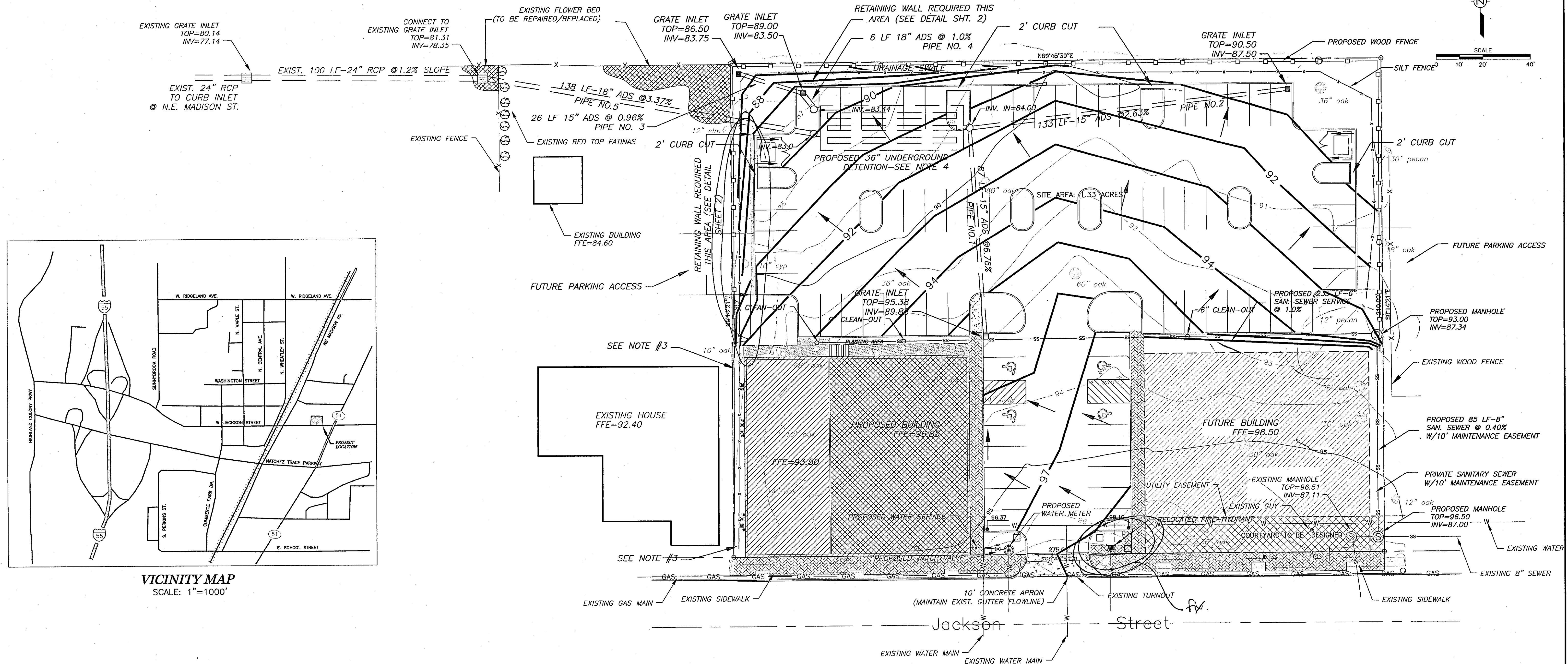
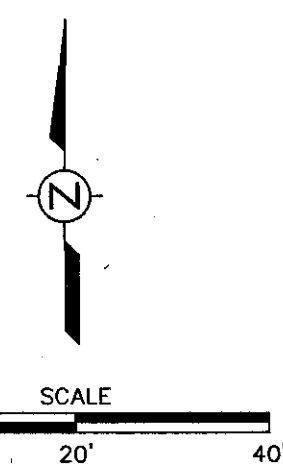
WOOLDRIDGE & ASSOCIATES  
105 CENTRAL AVENUE  
RIDGELAND, MS 39157  
601-855-6111 / 601-855-4268 FAX



**Olde Trace Market**  
 Jackson Street Overlay District  
 Ridgeland, MS

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	DRAWN
	CHECKED
	DATE
	SCALE
	JOB NO.
	SHEET



VICINITY MAP  
SCALE: 1"=1000'

**STORMWATER RUNOFF CALCULATIONS**

PRE-DEVELOPMENT:  
 TOTAL AREA = 1.33 AC  
 GREEN AREA = 1.33 AC  
 IMPERVIOUS AREA = 0.0 AC  
 C GREEN = 0.64  
 C IMPERVIOUS = 0.93  
 WEIGHTED C = 0.64  
 SLOPE = 4.0%  
 T = 9.10 MINUTES  
 MDOT CURVE REGION II; 100 YR. FREQ.; i = 11.54 in/hr  
 Q = CIA = 9.82 cfs

POST-DEVELOPMENT:  
 TOTAL AREA = 1.33 AC  
 GREEN AREA = 0.22 AC  
 IMPERVIOUS AREA = 1.11 AC  
 C GREEN = 0.64  
 C IMPERVIOUS = 0.93  
 WEIGHTED C = 0.88  
 SLOPE = 4.0%  
 T = 4.61 MINUTES  
 MDOT CURVE REGION II; 100 YR. FREQ.; i = 13.76 in/hr  
 Q = CIA = 16.10 cfs

Q POST - Q PRE = 6.28 CFS  
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 1797 CF UNDERGROUND DETENTION PROVIDED IN ADS/HANCOR  
 36" SYSTEM

GENERAL NOTES: STORM FREQUENCY = 100 YRS.  
 $T_c = (104 \cdot L^{0.37}) / ((17 \cdot C)^{(5 \cdot 0.21)})$

**STORMWATER PIPE HYDRAULICS**

PIPE NO.	SIZE	Q MAX.(CFS)	V MAX.(FPS)
1	87 LF-15"ADS@ 6.76%	18.20	14.83
2	133 LF-15"ADS@ 2.63%	11.35	9.25
3	26 LF-15"ADS@ 0.96%	6.86	5.59
4	6 LF-18"ADS@ 1.0%	11.38	6.44
5	138 LF-18"ADS@ 3.37%	20.89	11.82

- NOTES:
- EXISTING TREES, SHRUBS OR FLOWER BEDS SHOWN SHALL BE REPAIRED OR REPLACED AND LANDSCAPED TO OWNERS SATISFACTION. GRASS SHALL BE REPLACED WITH SOD OF SAME TYPE. CARE SHALL BE TAKEN TO MINIMIZE DAMAGE TO EXISTING RED TOP FATINAS SHOWN.
  - HANDICAP RAMPS SHALL BE PER CITY OF RIDGELAND STANDARDS.
  - AREAS BETWEEN PROPOSED BUILDING/PARKING AND PROPERTY LINE SHALL BE SLOPED A MAXIMUM OF 2.5:1 AND CONNECTED TO EXISTING GRADES AT PROPERTY LINE. SLOPES GREATER THAN 2.5:1 MAY REQUIRE A RETAINING WALL.
  - UNDERGROUND DETENTION PER ADS/HANCOR CONSTRUCTION DRAWINGS AND DETAILS.



LEGEND

— 98	EXISTING CONTOURS
— 101	PROPOSED CONTOURS
— W	EXISTING WATER MAIN
— X	EXISTING FENCE
⊙	EXISTING TREE
⊙	EXISTING MANHOLE
— X	DRAINAGE FLOW DIRECTION
⊙	DESIGN SPOT ELEVATION
— X	PROPOSED WOOD FENCE
— X	SILT FENCE

REV.	DESCRIPTION OF REVISION	BY	REVISION DATE
1	ADDED RETAINING WALL	MJA	1/14/09
0	ISSUED FOR REVIEW	MJA	12/1/08

SCALE: 1" = 20'  
 DRAWN: F. PHILLIPS  
 REVIEWED: M. ALFORD  
 PROJECT MANAGER: M. ALFORD  
 DATE: 12/1/08

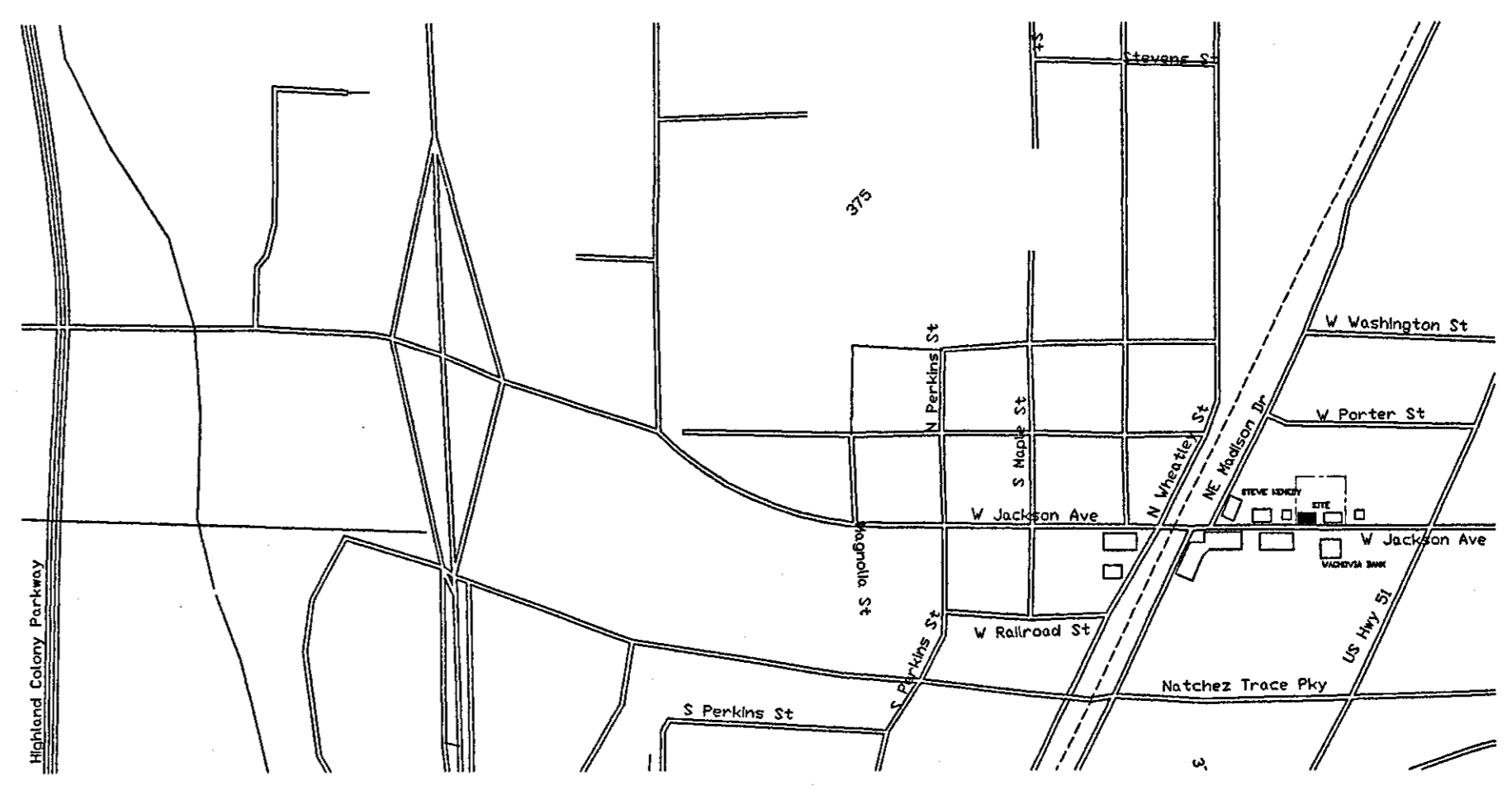
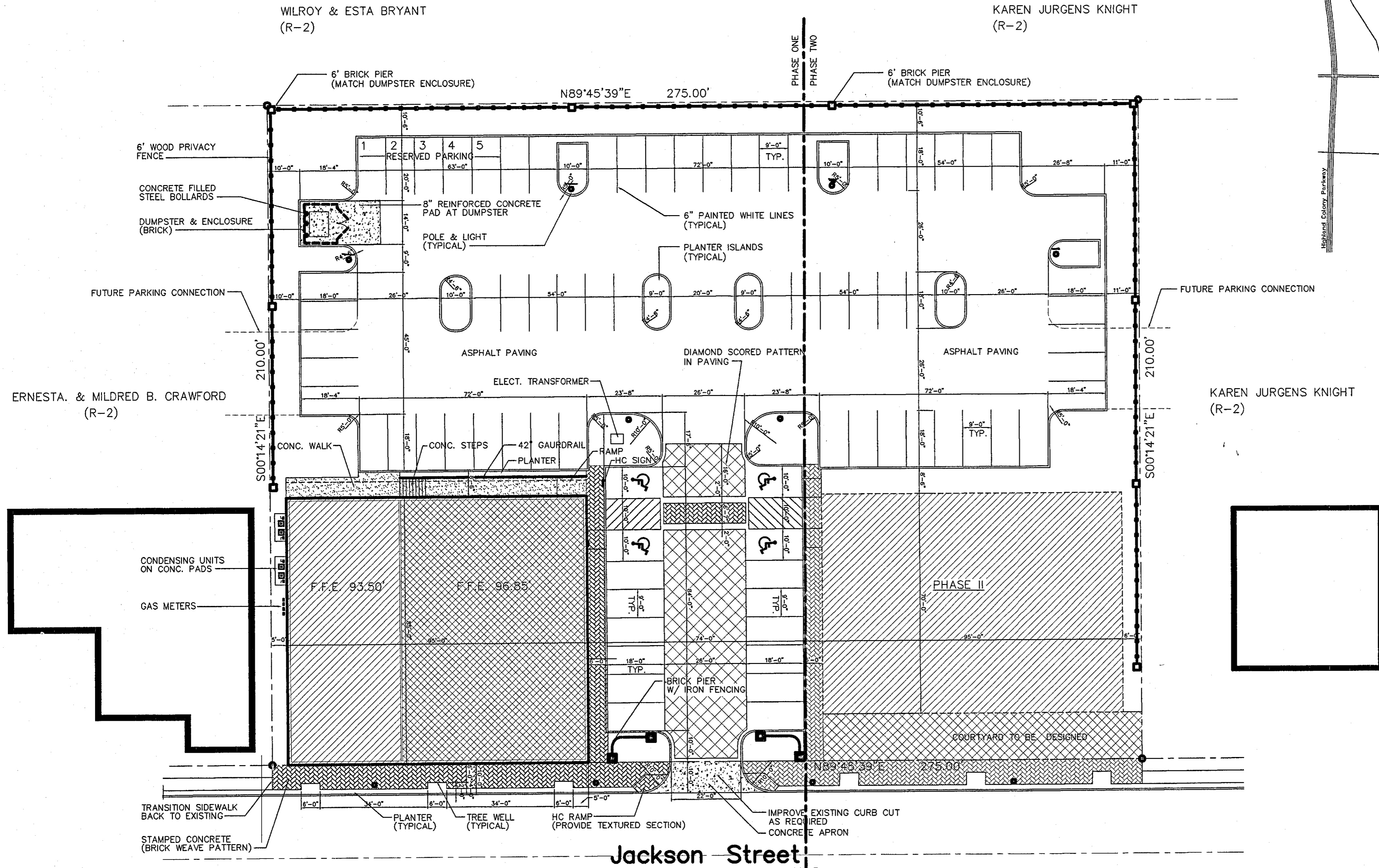
**Alford and Associates**  
 Consulting Engineers  
 712 Suite B Siwell Road  
 Byram, Mississippi 39272

SITE LAYOUT  
 OLDE TRACE MARKET  
 RIDGELAND, MISSISSIPPI

PROJECT NAME  
 RAZAH  
 CAD FILE NAME  
 RAZAH SITE PLAN.dwg  
 DRAWING  
**1 of 2**



Daniel Wooldridge, Wooldridge & Associates 10/17/2007 2:37 PM DR RAZA JACKSON STREET.dwg



VICINITY MAP  
SCALE: 1000:1

SITE PLAN  
SCALE: 1"=20'-0"

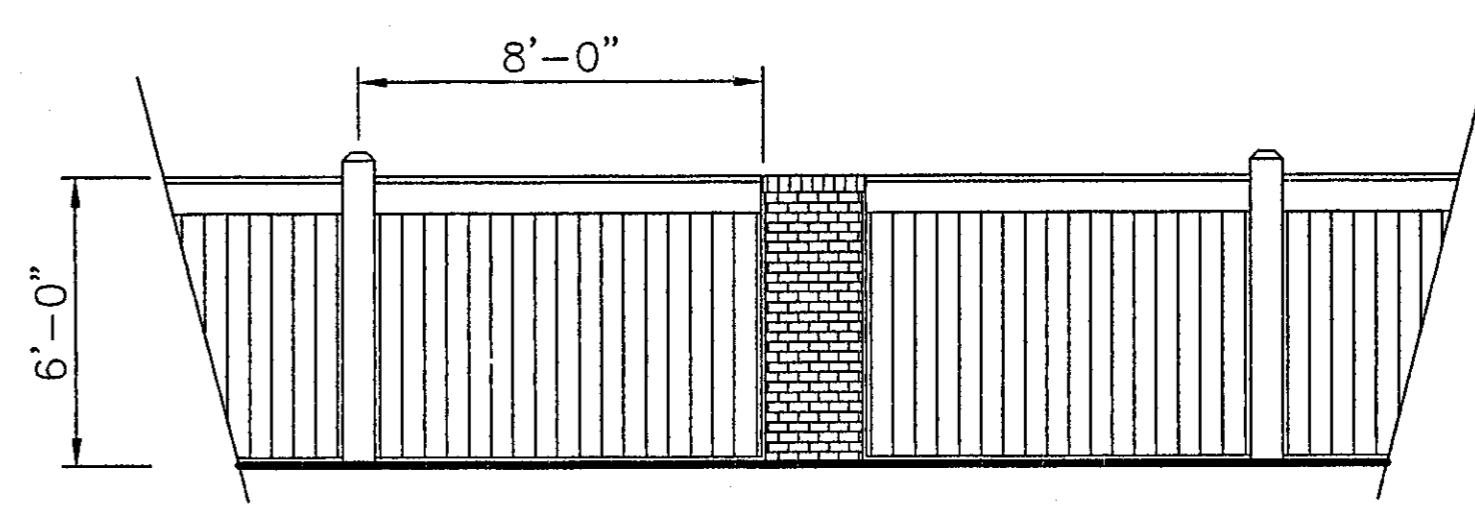
JACKSON STREET OVERLAY DISTRICT  
ZONING C-2

SITE AREA 57,750 SF. (1.33 AC.)  
BUILDING SQUARE FOOTAGE (PHASE ONE) 8,000 SF.  
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TOTAL REQUIRED PARKING 48 SPACES  
TOTAL PARKING PROVIDED 75 SPACES



FENCE DETAIL  
SCALE: 1/4"=1'-0"

REVISIONS	BY

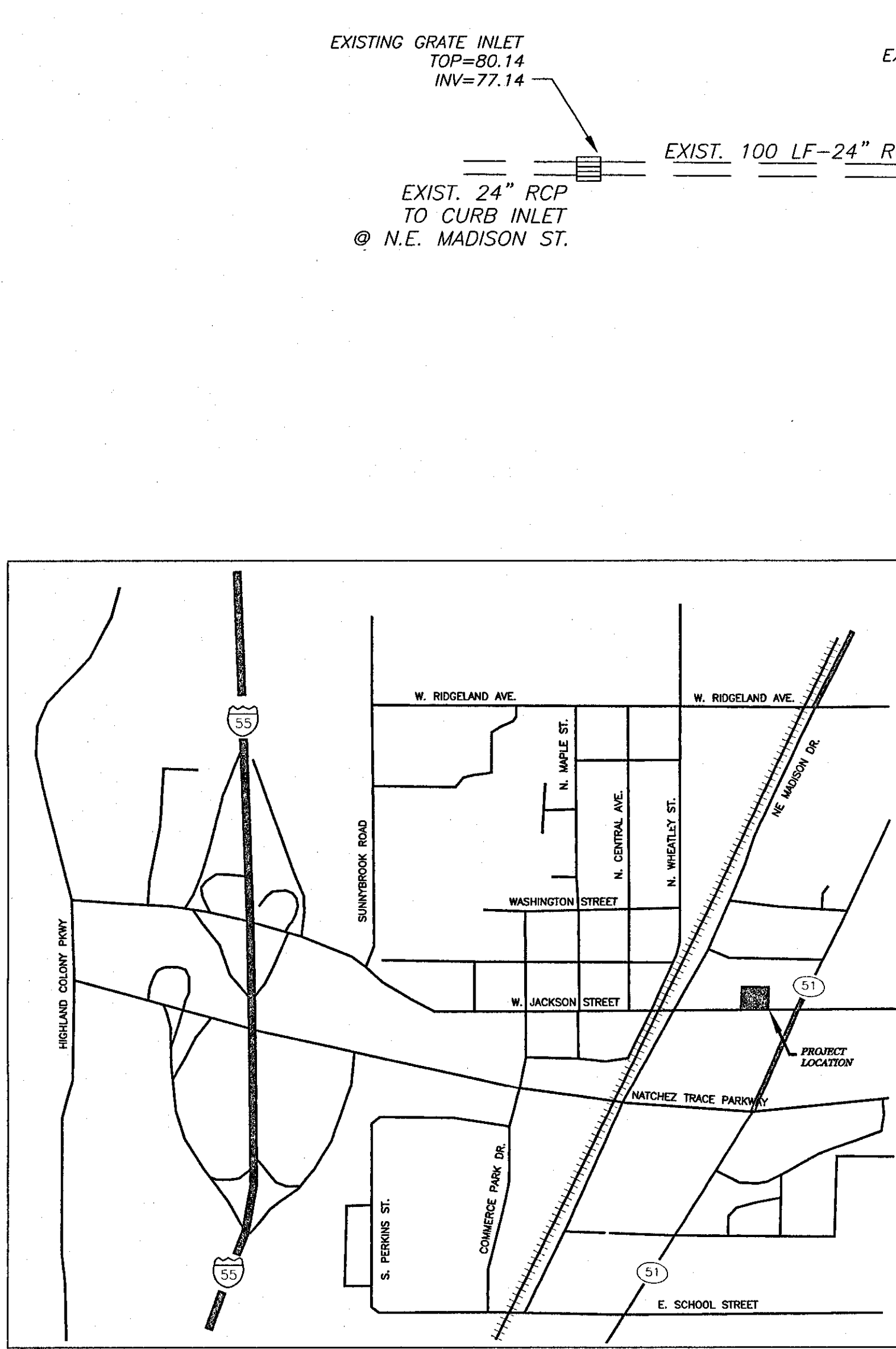
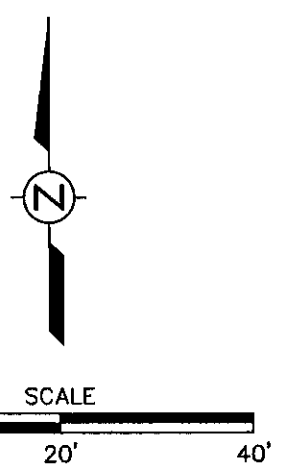
WOOLDRIDGE & ASSOCIATES  
105 CENTRAL AVENUE  
RIDGELAND, MS 39157  
601-858-0181 / 601-858-0288 FAX

**Olde Trace Market**  
 Jackson Street Overlay District  
 Ridgeland, MS

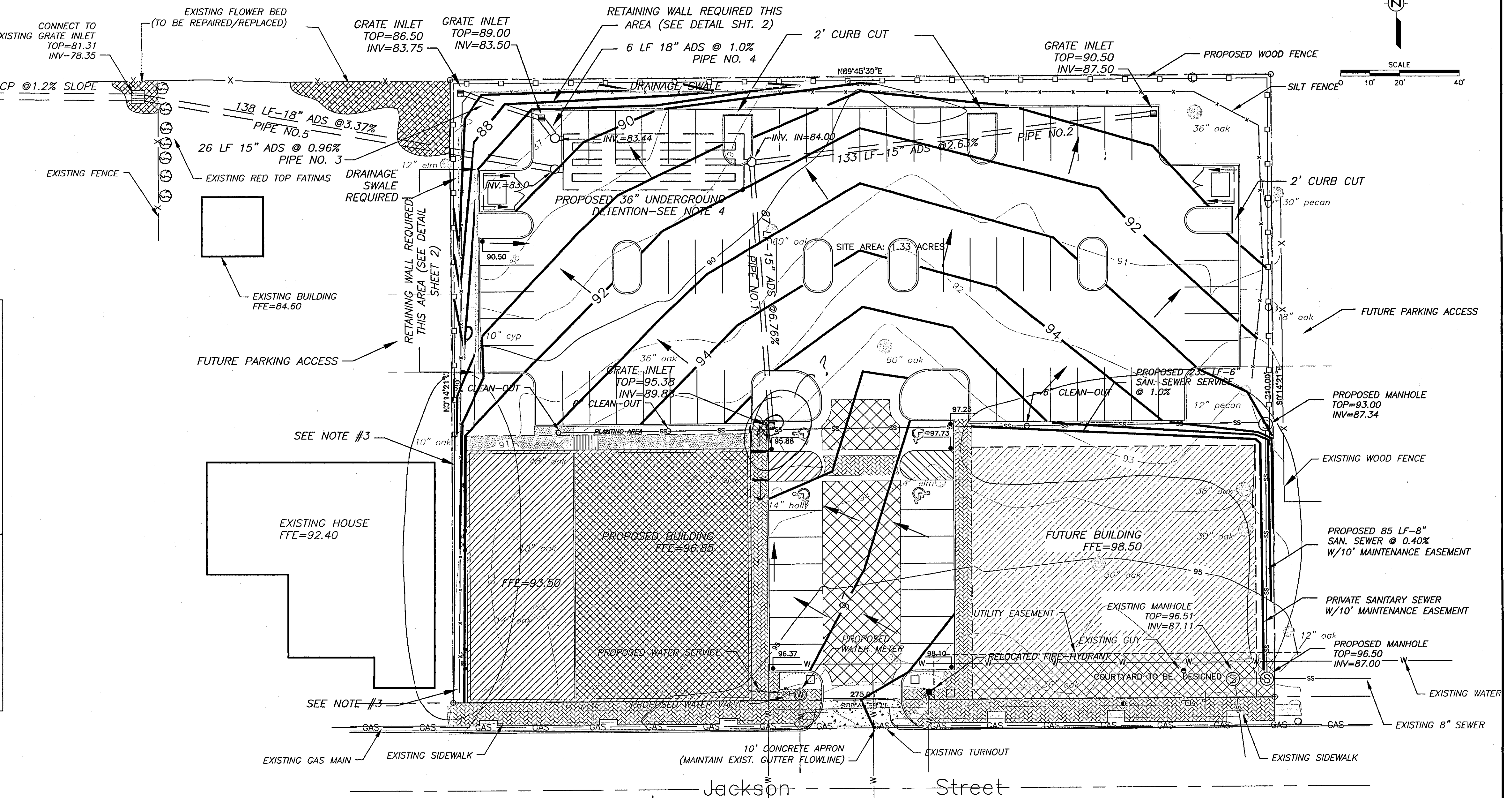
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	DRAWN
	CHECKED
	DATE
	SCALE
	JOB NO.
	SHEET





VICINITY MAP  
SCALE: 1"=1000'



DROP-DOWN  
FOOTING  
REQD.

**STORMWATER RUNOFF CALCULATIONS**

PRE-DEVELOPMENT:  
TOTAL AREA = 1.33 AC  
GREEN AREA = 1.33 AC  
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C GREEN = 0.64  
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Q POST - Q PRE = 6.28 CFS  
(6.28 CFS)(4.61 MIN)(60 SEC)=1737 CF DETENTION REQUIRED  
1737 CF UNDERGROUND DETENTION PROVIDED IN ADS/HANCOR  
36" SYSTEM

GENERAL NOTES: STORM FREQUENCY = 100 YRS.  
Tc=(10\*L<sup>0.37</sup>)/((17\*Q)<sup>0.21</sup>)

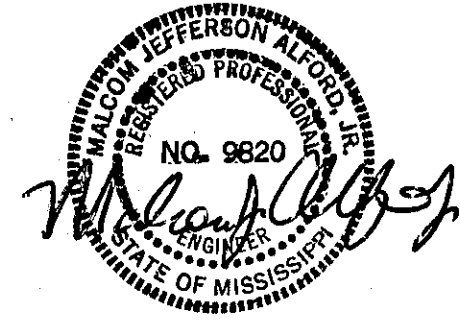
**STORMWATER PIPE HYDRAULICS**

PIPE NO.	PIPE SIZE & SLOPE	Q MAX.(CFS)	V MAX.(FPS)
1	87 LF-15"ADS@ 6.76%	18.20	14.83
2	133 LF-15"ADS@ 2.63%	11.35	9.25
3	26 LF-15"ADS@ 0.96%	6.86	5.59
4	6 LF-18"ADS@ 1.0%	11.38	6.44
5	138 LF-18"ADS@ 3.37%	20.89	11.82

- NOTES:
- EXISTING TREES, SHRUBS OR FLOWER BEDS SHOWN SHALL BE REPAIRED OR REPLACED AND LANDSCAPED TO OWNERS SATISFACTION. GRASS SHALL BE REPLACED WITH SOD OF SAME TYPE. CARE SHALL BE TAKEN TO MINIMIZE DAMAGE TO EXISTING RED TOP FATINAS SHOWN.
  - HANDICAP RAMPS SHALL BE PER CITY OF RIDGELAND STANDARDS.
  - AREAS BETWEEN PROPOSED BUILDING/PARKING AND PROPERTY LINE SHALL BE SLOPED A MAXIMUM OF 2.5:1 AND CONNECTED TO EXISTING GRADES AT PROPERTY LINE. SLOPES GREATER THAN 2.5:1 MAY REQUIRE A RETAINING WALL.
  - UNDERGROUND DETENTION PER ADS/HANCOR CONSTRUCTION DRAWINGS AND DETAILS.

**LEGEND**

- 98 — EXISTING CONTOURS
- 101 — PROPOSED CONTOURS
- W — EXISTING WATER MAIN
- X — EXISTING FENCE
- ⊙ — EXISTING TREE
- ⊙ — EXISTING MANHOLE
- X — DRAINAGE FLOW DIRECTION
- X — DESIGN SPOT ELEVATION
- X — PROPOSED WOOD FENCE
- X — SILT FENCE



1-31-11

REV.	DESCRIPTION OF REVISION	BY	REVISION DATE
1	ADDED RETAINING WALL	MJA	1/14/09
0	ISSUED FOR REVIEW	MJA	12/1/08

SCALE: 1" = 20'
DRAWN: F. PHILLIPS
REVIEWED: M. ALFORD
PROJECT MANAGER: M. ALFORD
DATE: 12/1/08

**Alford and Associates**  
Consulting Engineers  
7112 Suite B Siwell Road  
Byram, Mississippi 39272

SITE LAYOUT	PROJECT NAME RAZH
OLDE TRACE MARKET RIDGELAND, MISSISSIPPI	CAD FILE NAME RAZH SITE PLAN.dwg
	DRAWING 1 of 2